



**City of Bellevue  
Development Services Department  
Land Use Staff Report**

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**Proposal Name:** KD 2-Lot Short Plat

**Proposal Address:** 9820 NE 20<sup>th</sup> Street

**Proposal Description:** Application for Preliminary Short Plat approval to subdivide an existing 32,234 sq. ft. lot (approx. 0.74 acre) into two single-family lots. The existing single-family residence is proposed to be demolished. The subject site is located in the R-3.5 land use district.

**File Number:** 21-118086-LN

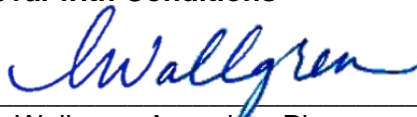
**Applicant:** Dean Furr, Furr Engineering Services, PLLC

**Decisions Included:** Preliminary Short Plat (Process II)

**Planner:** Leticia Wallgren, Associate Planner

**State Environmental Policy Act Threshold Determination:** **Exempt**

**Department Decision:** **Approval with Conditions**

By:   
Leticia Wallgren, Associate Planner  
Development Services Department

Application Date: August 18, 2021  
Notice of Application: September 30, 2021  
Minimum Comment Period: October 14, 2021  
Decision Publication Date: September 22, 2022  
Appeal Deadline: October 6, 2022

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Attachments:  
Project Drawings

## I. DESCRIPTION OF PROPOSAL

The applicant is proposing to short plat an existing 32,234 sq. ft. lot (approx. 0.74 acre) into two single-family lots resulting in a 16,533 sq. ft. lot (0.39 acre) and a 15,595 sq. ft. lot (0.35 acre). The site contains an existing single-family dwelling which is proposed to be demolished. The subject site is located within the R-3.5 land use district, and within the North Bellevue Subarea. Access to lot one will be via an existing driveway fronting NE 21<sup>st</sup> Street and access to lot two will be via a new driveway fronting NE 20<sup>th</sup> Street.

As defined by Land Use Code 20.25H, the site does not contain any critical areas. The property contains 42 significant trees totaling 864 diameter inches. The applicant proposes to retain 34 of the existing trees or 82% percent diameter inches of the significant trees on the site.

## II. SITE DESCRIPTION AND CONTEXT

The subject site is within an existing single-family neighborhood and is bordered by NE 21<sup>st</sup> Street to the north and NE 20<sup>th</sup> to the south. Single-family residences are established to the north, south, east, and west. The subject property is zoned R-3.5 and has a Comprehensive Plan designation of Single-Family Medium.

The topography of the site is relatively flat with a total elevation change of 10-feet (north to south) with the lot sloping slightly to the south. The predominate vegetation on-site is grass and trees.



**Figure 2 – Aerial Photograph**



### **III. CONSISTENCY WITH ZONING AND LAND USE CODE REQUIREMENTS**

#### **A. Zoning**

The two lots proposed with this short plat application are permitted within the R-3.5 land use district. Refer to Table 1 of Section III.B below for discussion of dimensional requirements.



**Figure 3 – Zoning Map**



**B. Consistency with Standard Land Use Code Requirements**

**Table 1 – Dimensional Requirements**

<b><u>BASIC INFORMATION</u></b>		
<b>Zoning District</b>	R-3.5 Subarea – North Bellevue Comprehensive Plan Designation: Single-Family Medium	
<b>Gross Site Area</b>	32,234 sq. ft. (approx. 0.74 acre)	
<b>ITEM</b>	<b>REQ'D/ALLOWED</b>	<b>PROPOSED</b>
<b>Minimum Lot Area</b>	10,000 sq. ft.	Lot 1: 16,533 sq. ft. Lot 2: 15, 595 sq. ft.
<b>Minimum Lot Width</b>	70 ft.	Lot 1: 122 ft. (approx.) Lot 2: 136 ft. (approx.)
<b>Minimum Lot Depth</b>	80 ft.	Lot 1: 115 ft. (approx.) Lot 2: 136 ft. (approx.)

<b>Building Setbacks</b>		
Front Yard	20 Feet	20 Feet
Rear Yard	25 Feet	25 Feet
Min. Side Yard	5 Feet	5 Feet
2 Side Yards	15 Feet	15 Feet
<b>Maximum Building Height</b>	30-feet for a flat roof 35-feet for a pitched roof	To be confirmed at the time of building permit
<b>Maximum Lot Coverage (by structure)</b>	35%	To be confirmed at the time of building permit
<b>Maximum Impervious Surface</b>	45%	To be confirmed at the time of building permit
<b>Minimum Greenscape Percentage</b>	50%	To be confirmed at the time of building permit
<b>Tree Retention</b>	130 inches, 15%	710 inches, 82%

#### IV. STATE ENVIRONMENTAL POLICY ACT (SEPA)

There are no critical areas within the proposal site. Short Plats which do not contain critical areas are exempt from SEPA review pursuant to WAC 197-11-800(6)(a), BCC 22.02.032; the project proposal is Exempt.

##### Surface Water

The project will be required to mitigate for minimum requirements 1-9 from the Department of Ecology Stormwater Management Manual for Western Washington 2012-2014. The applicant has proposed to use dispersion and infiltration BMPs to meet the requirements. The site will not trigger minimum requirements 6-9.

##### Water

Domestic water for the site is proposed to reuse the existing water meter for that Lot 2 connected off an 8" size water main in NE 20<sup>th</sup> st and proposes to and install a new water meter for Lot 1 off the existing 6" AC water main located in NE 21<sup>st</sup> St. There is adequate capacity in the water system to serve the site.

##### Sewer

Sewer service for lot 2 proposes to reuse the existing sewer stub in NE 20<sup>th</sup> Lot 1 proposes to connect to the existing sewer main located in NE 21<sup>st</sup> St. There is adequate capacity in the sewer system to serve the site.

#### V. SUMMARY OF TECHNICAL REVIEWS

##### A. Utilities Review

##### Surface Water

The applicant has proposed infiltration and dispersion BMPS to mitigate storm water runoff from the site. Infiltration trenches for the roof tops are proposed. Other hard surfaces will be dispersed or connected to the downstream storm system as feasible.

Water

Domestic water for the site is proposed to reuse the existing water meter for that Lot 2 connected off an 8" size water main in NE 20th St. and proposes to and install a new water meter for Lot 1 off the existing 6" AC water main located in NE 21st St.

Sewer

Sewer service for lot 2 proposes to reuse the existing sewer stub in NE 20th Lot 1 proposes to connect to the existing sewer main located in NE 21st St.

**B. Fire Department Review**

The Fire Department has approved the preliminary short plat.

**C. Clearing and Grading Review**

The Clearing and Grading Division has approved the preliminary short plat.

**D. Transportation Review**

The Transportation Department has reviewed the plans submitted for the preliminary short plat and recommends approval. The final engineering plans must show all transportation-related improvements and must be consistent with the Transportation Development Code (BCC 14.60) and the Transportation Department Design Manual prior to approval of the plat infrastructure permit.

Prior to final short plat approval, the developer must complete all transportation improvements at the developer's expense (BCC 14.60.110); or provided that all the requirements of BCC 14.60.260 are met, the director may accept an acceptable financial assurance device equivalent to 150% of the cost of the unfinished improvements. Installation of improvements that would negatively affect safety if left unfinished may not be delayed through use of a financial assurance device.

Under BCC 22.16, payment of the transportation impact fee for each new home prior to building permit issuance will adequately mitigate off-site transportation impacts. The fee amount is subject to periodic revision by the City Council. Builders will pay the fee in effect at the time of building permit issuance.

**Site Access**

The proposed two lot short plat is comprised of an existing lot on the north side of NE 20<sup>th</sup> Street, east of 98<sup>th</sup> Avenue NE which has one existing single-family home taking access from NE 21<sup>st</sup> Street via a single-family driveway. NE 21<sup>st</sup> Street, NE 20<sup>th</sup> Street, and 98<sup>th</sup> Avenue NE are all two-lane roads classified as local streets. Access for the short plat will be via new single-family driveways off of NE 20<sup>th</sup> Street and NE 21<sup>st</sup> Street. No other access connection to city right-of-way is authorized. The single-family driveways must be a minimum of 10 feet wide and be built per the Transportation Design Manual Standard Drawings.

Street names and site addresses will be determined by the City's Parcel and Address Coordinator.

### **Street Frontage Improvements**

The KD 2 Lot short plat is located on the north side of NE 20<sup>th</sup> Street, east of 98<sup>th</sup> Avenue NE. There is currently a drainage ditch along the NE 21<sup>st</sup> Street frontage, and a gravel shoulder along the NE 20<sup>th</sup> Street frontage. The lot currently has a 10-foot-wide single-family driveway on the NE 21<sup>st</sup> Street frontage. The lot is bordered by single family lots to the east and west. The new single family driveway approaches will be required to be built per Bellevue Standards.

Frontage improvements will be required, and shall include:

#### **NE 20<sup>th</sup> Street:**

- Install new minimum 10-foot-wide single-family driveway approach per Bellevue standards.
- Sight distance requirements must be met per BCC 14.60.240 at the new driveways.
- Any overhead utilities into the plat are required to be undergrounded.

#### **NE 21<sup>st</sup> Street:**

- Install new minimum 10-foot-wide single-family driveway approach per Bellevue standards.
- Sight distance requirements must be met per BCC 14.60.240 at the new driveways.
- Any overhead utilities into the plat are required to be undergrounded.

The design of the improvements and the final engineering plans showing those improvements must conform to the requirements of the Americans with Disabilities Act, the Transportation Development Code (BCC 14.60), and the Transportation Department Design Manual prior to approval of the plat infrastructure (GE) permit.

### **Use of the Right of Way**

Applicants often request use of the right of way and of pedestrian easements for materials storage, construction trailers, hauling routes, fencing, barricades, loading and unloading, and other temporary uses as well as for construction of utilities and street improvements. A Right of Way Use Permit for such activities must be acquired prior to issuance of any construction permit including demolition permit.

### **Pavement Restoration**

The City of Bellevue has established the Trench Restoration Program to provide developers with guidance as to the extent of resurfacing required when a street has been damaged by trenching or other activities. Under the Trench Restoration Program, every public street in the City of Bellevue has been examined and placed in one of three categories based on the street's condition and the period of time since it was last

resurfaced. These three categories are No Street Cuts Permitted, Overlay Required, and Standard Trench Restoration. Each category has different trench restoration requirements associated with it.

Near the development site, NE 20<sup>th</sup> Street and NE 21<sup>st</sup> Street are classified as “Standard Trench Restoration”. Any street cuts into NE 20<sup>th</sup> Street or NE 21<sup>st</sup> Street will require trench restoration per standard drawing RC-190-1.

#### **Sight Distance**

The access design shall meet the sight distance requirements of BCC 14.60.240. Vegetation shall be trimmed as needed within the sight triangle.

#### **Transportation Impacts and Mitigation**

City staff has analyzed the potential short-term operational impacts of this proposal in order to recommend mitigation if necessary. These impacts included traffic operations conditions during the a.m. and p.m. peak hours. Due to the minimal number of new p.m. peak hour trips to be generated by the KD 2 Lot Short Plat, traffic impacts from this development will be minor in nature. Therefore, no additional mitigation is required other than payment of the transportation impact fee and the project site improvements.

#### **VI. PUBLIC COMMENT**

The City initially notified the public of this proposal on September 30, 2021, with mailed notice and publication in the Weekly Permit Bulletin. A public information sign was installed on the site the same day. No written comments were received during the review of the application.

#### **VII. DECISION CRITERIA:**

Land Use Code 20.45B.130B Decision Criteria for a Preliminary Short Plat:

The Director may approve or approve with modifications an application for a Preliminary Short Plat if:

- 1. The Preliminary Short Plat makes appropriate provisions for, but not limited to, the public health, safety and general welfare, for open spaces, drainage ways, streets, sidewalks, alleys, other public ways, water supplies, sanitary waste.**

***Finding:*** City codes ensure public health, safety and general welfare through development code requirements. Existing public water and sewer facilities have been deemed adequate to serve the proposed development.

Construction noise is expected during the construction period, however, the Bellevue Noise Control Ordinance (BCC 9.18) regulates hours of construction-related noise emanating from project sites. **Refer to Condition of Approval regarding Noise/Construction Hours in Section IX of this report.**

- 2. The public interest is served by the short subdivision.**

**Finding:** The public interest is served by providing additional housing opportunities in accordance with the Comprehensive Plan, while ensuring compliance with City codes and standards.

**3. The preliminary short plat appropriately considers the physical characteristics of the proposed short subdivision site.**

**Finding:** The preliminary short plat considers the physical characteristics of the site by establishing tree retention and protection requirements which will maintain some of the vegetated character of the surrounding neighborhood. There are no critical areas on this site that require further protection. **Refer to Conditions of Approval regarding tree protection and tree retention in Section IX of this report.**

**4. The proposal complies with all applicable provisions of the Land Use Code (BCC Title 20), the Utility Code (BCC Title 24), and the City of Bellevue Development Standards.**

**Finding:** As conditioned, the proposal complies with the Land Use Code requirements for the R-3.5 land use district, the Utility Codes and the City of Bellevue Development Standards.

**5. The proposal is in accord with the Comprehensive Plan (BCC Title 21).**

**Finding:** The site is located within the Northwest Bellevue Subarea. The Comprehensive Plan specifies Single-Family Medium-Density development for this property, which is consistent with the R-3.5 land use designation. In addition, the proposal complies with applicable Comprehensive Plan policies City-wide and for this Subarea, including the following:

The single family homes are, by use type, compatible with surrounding neighborhoods (LU-13). The proposed short plat provides housing for Bellevue's share of the regionally adopted demand forecasts for residential uses for the next 20 years (LU-5).

The proposal meets the Neighborhood Quality goal (Housing Element) by providing compatible housing (single-family in single-family district) (HO-3).

Also, by providing the preservation of healthy significant existing trees on-site, the proposal will help maintain the vegetated character in the neighborhood.

**6. Each lot in the proposal can reasonably be developed in conformance with current Land Use Code requirements without requiring a variance.**

**Finding:** As conditioned, each lot (proposed Lots 1 and 2) can reasonably be developed to current R-3.5 dimensional standards without requiring a variance. There are no site constraints or critical areas which inhibit the development of this property that would warrant a variance. **Refer to Condition of Approval regarding the variance restriction in Section IX of this report.**

7. **All necessary utilities, streets or access, drainage and improvements are planned to accommodate the potential use of the entire property.**

***Finding:*** The Utilities and Transportation Departments have reviewed the preliminary short plat and determined that all necessary utilities, drainage, driveway access locations, and other required improvements are either existing, planned or conditioned as part of this approval, to accommodate the use of these lots. **Refer to Conditions of Approval regarding infrastructure improvements and access design and maintenance in Section IX of this report.**

#### **VIII. CONCLUSION AND DECISION:**

After conducting the various administrative reviews associated with this proposal, including applicable Land Use consistency, City Code, and standard compliance reviews, the Director of the Development Services Department does hereby **APPROVE** the KD 2-Lot Preliminary Short Plat **WITH CONDITIONS**.

This approval automatically expires and is void if the applicant fails to file for approval of the final short plat within one year of the effective date of approval unless the applicant files for an extension at least 30 days prior to the expiration and the extension is granted pursuant to LUC 20.45B.150 and 160.

#### **IX. CONDITIONS OF APPROVAL:**

The following conditions are imposed under authority referenced:

##### **COMPLIANCE WITH BELLEVUE CITY CODES AND ORDINANCES**

The applicant shall comply with all applicable Bellevue City Codes, Standards, and Ordinances including but not limited to:

<b>Applicable Codes, Standards &amp; Ordinances</b>	<b>Contact Person</b>
Clearing & Grading Code – BCC 23.76	Janney Gwo, (425) 452-6190
Construction Codes – BCC Title 23	Building Division, (425) 452-6864
Fire Code – BCC 23.11	Scott Gerard, (425) 452-6808
Land Use Code – BCC Title 20	Leticia Wallgren, (425) 452-2044
Noise Control – BCC 9.18	Leticia Wallgren, (425) 452-2044
Transportation Develop. Code – BCC 14.60	Ian Nisbet, (425) 452-4851
Transportation Develop. Code – BCC 14.60	Ian Nisbet, (425) 452-4581
Right-of-Way Use Code 14.30	Ian Nisbet, (425) 452-4851
Utility Code – BCC Title 24	Mark Dewey, (425) 452-6179

#### **A. GENERAL CONDITIONS:**

##### **1. VARIANCE RESTRICTION**

Approval by the City of this short plat is a determination that each lot in the short plat can be reasonably developed in conformance with the Land Use Code requirements

in effect at the time of preliminary short plat approval without requiring a variance.

AUTHORITY: Land Use Code 20.45B.130.A.6  
REVIEWER: Leticia Wallgren, Development Services Department

## **2. OBTAIN PERMITS**

The applicant shall obtain all other permits for infrastructure, utilities, building and other improvements. No construction may commence until the appropriate permit is issued.

AUTHORITY: Land Use Code 20.30P  
REVIEWER: Leticia Wallgren, Development Services Department

## **B. CONDITIONS PRIOR TO ISSUANCE OF ANY PLAT ENGINEERING/CLEAR AND GRADE PERMIT:**

### **1. CLEARING AND GRADING PERMIT REQUIRED**

The clearing and grading reviewer has reviewed the plans and materials submitted for this project and has approved the clearing and grading portion of this land use application. This approval does not constitute an approval of any construction permit. An application for a clearing and grading permit must be submitted and approved before construction can begin. Plans submitted as part of any permit application for this project shall be consistent with the activity permitted under this approval and must comply with the City of Bellevue Clearing and Grading Code (BCC 23.76).

AUTHORITY: Clearing and Grading Code 23.76.035  
REVIEWER: Janney Gwo, Development Services Department

### **2. SEASONAL CLEARING AND GRADING RESTRICTIONS**

The clearing & grading code defines the rainy season as October 1st through April 30th. The Development Services Department may grant approval to initiate or continue clearing or grading activity during the rainy season. Any approval will be based on site and project conditions, extent and quality of the erosion and sedimentation control, and the project's track record at controlling erosion and sedimentation.

AUTHORITY: Clearing and Grading Code 23.76  
REVIEWER: Janney Gwo, Development Services Department

### **3. UTILITIES CONCEPTUAL APPROVAL**

Utility Department approval of the design review application is based on the final conceptual design submitted with this application. Final utility design and construction approval is not given under this permit. Small changes to the site layout may be



required to accommodate the utilities after utility engineering is approved. The water, sewer, and storm drainage systems shall be designed per the current City of Bellevue Utility Codes and Utility Engineering Standards. Review and approval of the proposed utility improvements will occur under separate UA, UC and BS permits. All required utility easements will be recorded on the face for the final short plat as needed.

AUTHORITY: BCC 24.02, 24.04, 24.06

REVIEWER: Mark Dewey

#### 4. TREE RETENTION

The City of Bellevue urges the applicant to save as many trees as possible. The final short plat shall portray a minimum of 123 diameter inches of existing significant trees to remain, as proposed. A Tree Preservation Plan that portrays the drip-line, the diameter size, and common name of each significant tree to be retained must be recorded with the *final short plat mylar* (recorded with King County). This Tree Preservation Plan must also contain the following note:

***“Designation of trees on the Tree Preservation Plan establishes a covenant by the owner to leave undisturbed all trees as shown on the Tree Preservation Plan. This covenant shall run with the land and shall be binding upon all future owners. No tree topping, tree cutting or tree removal shall occur unless required or approved by the City. Except for ordinary landscape maintenance, no construction, clearing or land alteration activities shall occur within the drip-line of trees shown on the Tree Preservation Plan, unless required or approved by the City. Activities in violation of this covenant are subject to penalty, including without limitation, fines, and mitigation requirements. The City of Bellevue shall have the right, but not the obligation, to enforce the requirements, terms and conditions of this covenant by any method available under law. It is the obligation of the owner to comply with the terms of the Tree Preservation Plan and this covenant.”***

During construction, the dripline of the trees to be saved shall be fenced to prevent clearing and grading activities within the dripline area.

A letter from the project arborist is required to be provided prior to building permit issuance that verifies tree protection and retention.

AUTHORITY: Land Use Code 20.20.900.

REVIEWER: Leticia Wallgren, Development Services Department

#### 5. RIGHT OF WAY USE PERMIT

The applicant is required to apply for a Right of Way Use Permit before the issuance of any clearing and grading, building, foundation, or demolition permit. In some cases, more than one Right of Way Use Permit may be required, such as one for hauling and one for construction work within the right of way. A Right of Way Use Permit regulates activity within the city right of way, including but not limited to the following:

- a) Designated truck hauling routes.
- b) Truck loading and unloading activities.
- c) Hours of construction and hauling.
- d) Continuity of pedestrian facilities.
- e) Temporary traffic control and pedestrian detour routing for construction activities.
- f) Street sweeping and maintenance during excavation and construction.
- g) Location of construction fences.
- h) Parking for construction workers.
- i) Construction vehicles, equipment, and materials in the right of way.
- j) All other construction activities as they affect the public street system.

In addition, the applicant shall submit for review and approval a plan for providing pedestrian access during construction of this project. Access shall be provided at all times during the construction process, except when specific construction activities such as shoring, foundation work, and construction of frontage improvements prevents access. General materials storage and contractor convenience are not reasons for preventing access.

AUTHORITY: Bellevue City Code 14.30  
REVIEWER: Mazen Wallaia, (425) 452-6988

## **6. OFF-STREET PARKING**

The applicant must secure sufficient off-street parking for construction workers, equipment, and materials storage before the issuance of a clearing and grading, building, foundation, or demolition permit.

AUTHORITY: Bellevue City Code 14.30  
REVIEWER: Mazen Wallaia, (425) 452-6988

### **a. ENGINEERING PLANS**

A street lighting plan, channelization plan, and site (civil engineering) plan produced by a qualified engineer must be approved by the City prior to clear and grading permit approval. The design of all street frontage improvements must be in conformance with the

requirements of the Americans with Disabilities Act, the Transportation Development Code, and the provisions of the Transportation Department Design Manual. The engineering plans must correctly show all transportation-related engineering details, including but not limited to, the design of the single-family driveways, the connection to NE 20<sup>th</sup> Street and NE 21<sup>st</sup> Street, pavement restoration in NE 20<sup>th</sup> Street and NE 21<sup>st</sup> Street, mailbox location, and sight distance. Appropriate standard drawings from the Transportation Department Design Manual must be included in the engineering plans.

Specific requirements are detailed below:

NE 20<sup>th</sup> Street:

- Install new minimum 10-foot-wide single-family driveway approach per Bellevue standards.
- Sight distance requirements must be met per BCC 14.60.240 at the new driveways.
- Any overhead utilities into the plat are required to be undergrounded.

NE 21<sup>st</sup> Street:

- Install new minimum 10-foot-wide single-family driveway approach per Bellevue standards.
- Sight distance requirements must be met per BCC 14.60.240 at the new driveways.
- Any overhead utilities into the plat are required to be undergrounded.

Miscellaneous:

- Landings on sloping approaches are not to exceed a 10% slope for a distance of 20 feet approaching the back edge of sidewalks. Driveway grades must be designed to prevent vehicles from bottoming out due to abrupt changes in grade.

Construction of all street and street frontage improvements must be completed prior to closing the clear and grade permit and right of way use permit for this project. A Design Justification Form must be provided to the Transportation Department for any aspect of any pedestrian route adjacent to or across any street that cannot feasibly be made to comply with ADA standards. Forms must be provided prior to approval of the clear and grade plans for any deviations from standards that are known in advance. Forms provided in advance may need to be updated prior to project completion. For any deviations from standards that are not known in advance, Forms must be provided prior to project completion.

**AUTHORITY:** Bellevue City Code 14.60; Transportation Department Design Manual; and Transportation Department Design Manual Standard Drawings; Americans with Disabilities Act.

**REVIEWER:** Ian Nisbet, (425) 452-4851

**b. SIGHT DISTANCE**

The proposed driveway access onto NE 20<sup>th</sup> Street and NE 21<sup>st</sup> Street shall meet the City of Bellevue's minimum sight distance requirements. If necessary to meet the sight distance requirements of BCC 14.60.240 and standard drawing RL-100-1 and RL-120-1, existing vegetation near the access point on NE 30<sup>th</sup> Street must be trimmed. Ground vegetation within the sight triangle must be trimmed to no more than 2.5 feet above a line drawn from pavement level to pavement level. Trees within the sight triangle must be limbed up to a height of 7.5 feet above a line drawn from pavement level to pavement level. A description of any required vegetation trimming must be shown on a sheet of the clearing and grading plan set

**AUTHORITY:** Bellevue City Code 14.60.240

**REVIEWER:** Ian Nisbet, (425) 452-4851

**c. PAVEMENT RESTORATION**

The city's pavement manager has determined that this segment of NE 20<sup>th</sup> Street and NE 21<sup>st</sup> Street will require standard trench restoration for any utility connections or other digging in the street surface. Trench restoration must meet the requirements of Section 21 of the Design Manual and standard drawings RC-190-1 through RC-220-1. Exact copies of the appropriate trench restoration drawing(s) must be included in the final engineering plans.

**AUTHORITY:** Bellevue City Code 14.60.250 and Design Manual Design Standard # 23

**REVIEWER:** Mazen Wallaia, (425) 452-6988

**C. PRIOR TO FINAL SHORT PLAT APPROVAL:**

**1. Dimensional Requirements**

All dimensional requirements for each lot noted in this staff report are required to be stated on the final short plat including, but not limited to, proposed lot coverage, proposed greenscape, proposed impervious surface.

**AUTHORITY:** Land Use Code 20.20

**REVIEWER:** Leticia Wallgren, Development Services Department

## **2. INFRASTRUCTURE IMPROVEMENTS**

All street frontage and infrastructure improvements shown in the final engineering plans or required by city codes and standards must be completed prior to approval of the final short plat. If all the requirements of BCC 14.60.260 are met, the director may accept an acceptable financial assurance device equivalent to 150% of the cost of the unfinished improvements. Installation of improvements that would negatively affect safety if left unfinished may not be delayed through use of a financial assurance device. Improvements must be approved by the Transportation Department inspector before they are deemed complete.

AUTHORITY: Bellevue City Code 14.60.100, 110, 130, 150, 170, 190, 210, 240, 241, 260  
Transportation Department Design Manual Sections 3, 4, 5, 7, 11, 14, 19

REVIEWER: Ian Nisbet, (425) 452-4851

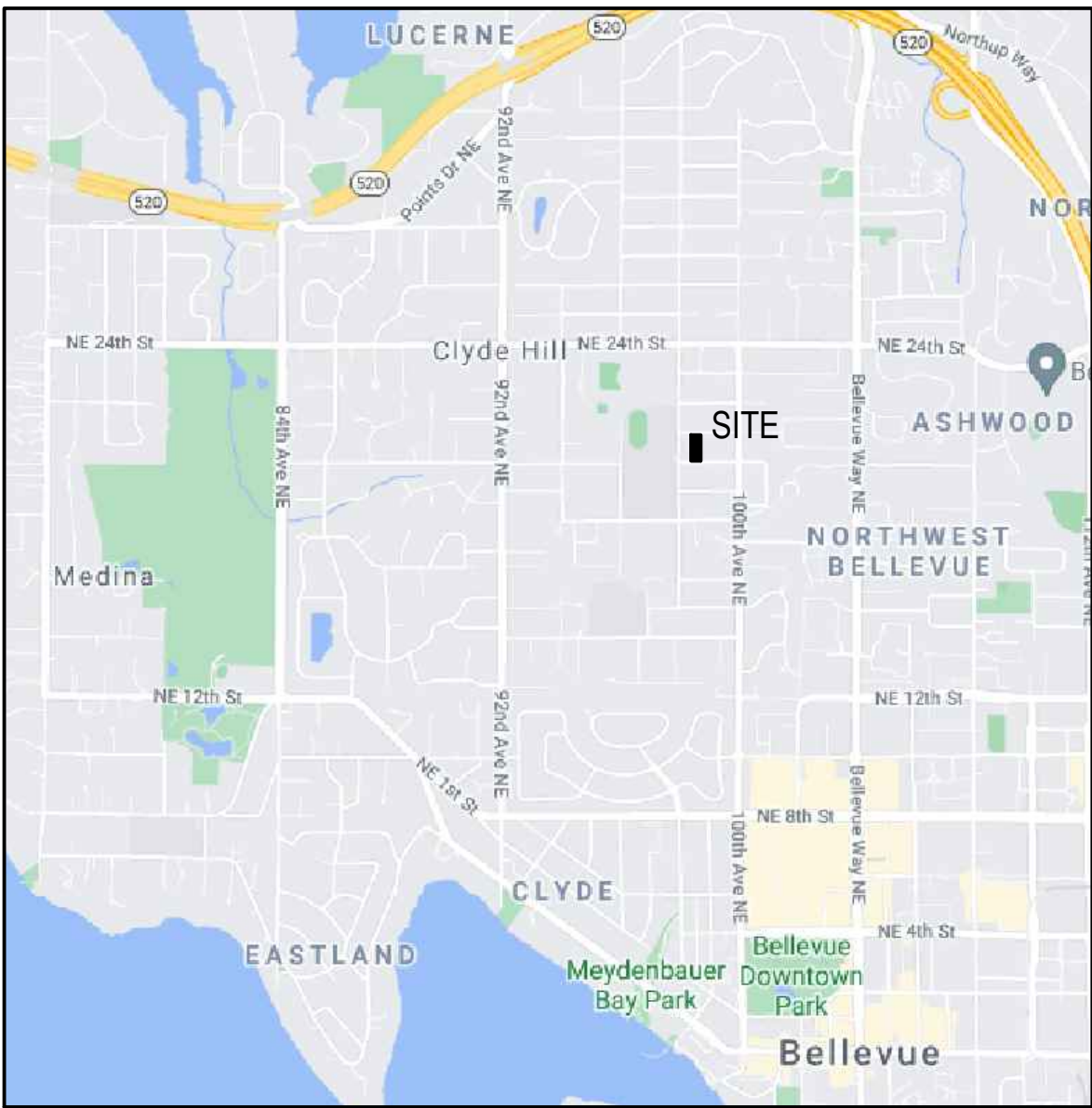






NE 1/4 NE 1/4 SEC. 30, T. 25N., R. 05 E, W.M.

KD 2-LOT SHORT PLAT

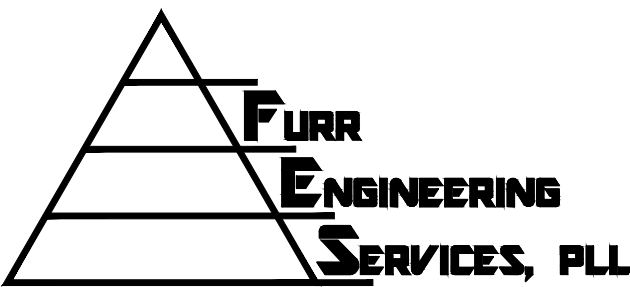
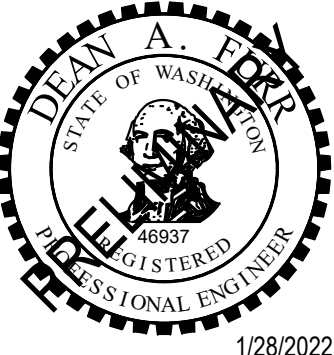


VICINITY MAP  
1" = 2000'

KD 2--LOT SHORT PLAT  
9821 NE 20TH ST  
BELLEVUE, WA 98004

Key Plan

Registration



4715 142nd Pl. SW #B,  
Edmonds, WA 98026  
ph 206.890.8291

Sheet Title

ADDRESSING  
SITE PLAN

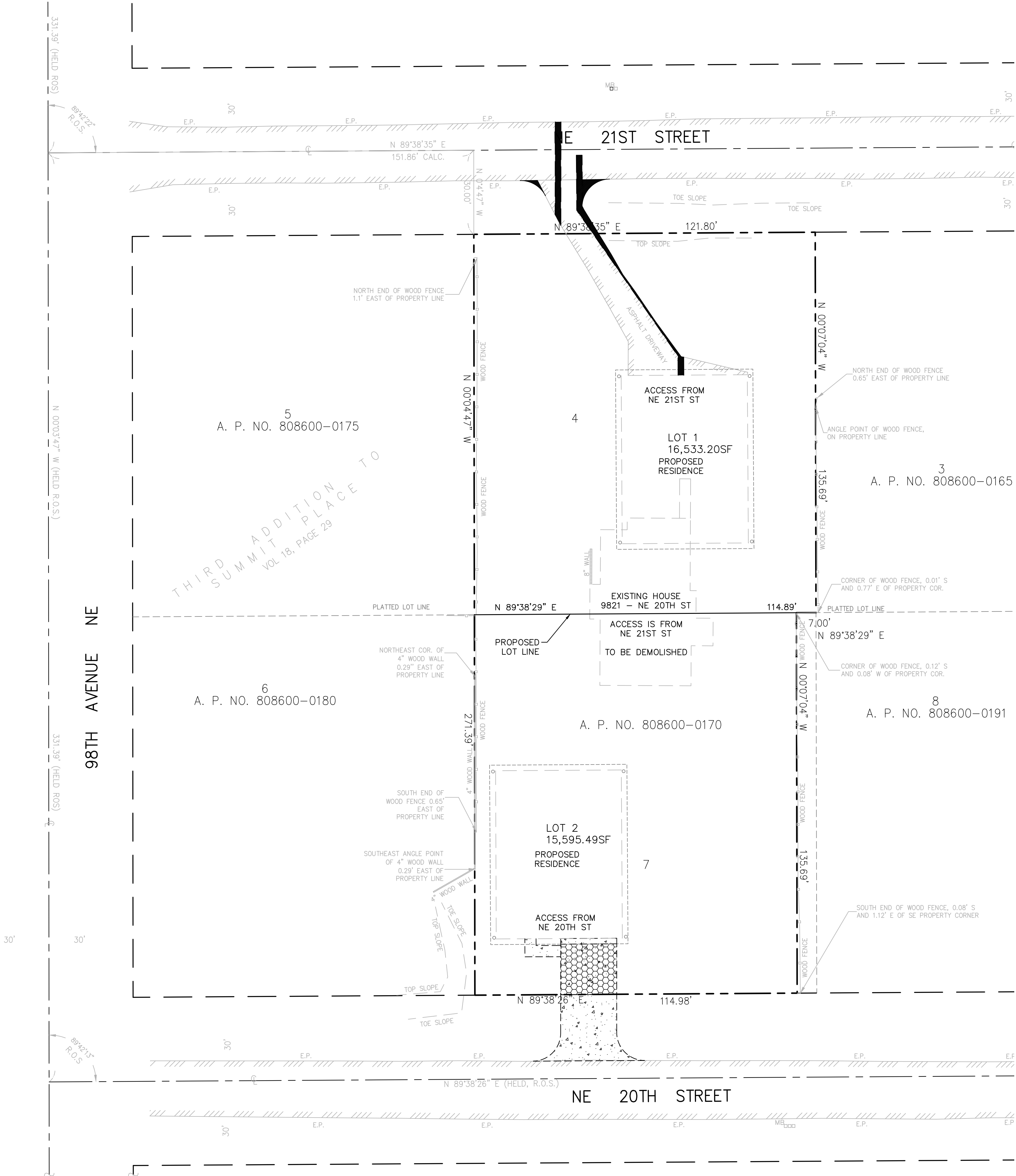
Revisions

REV	REV DATE	REV DESCRIPTION
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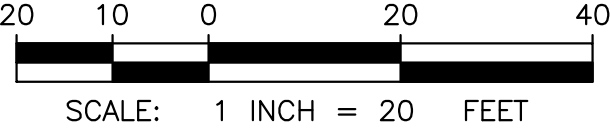
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Designed:	DAF
Drawn:	TJW
Checked:	DAF

Sheet Number

C1.1

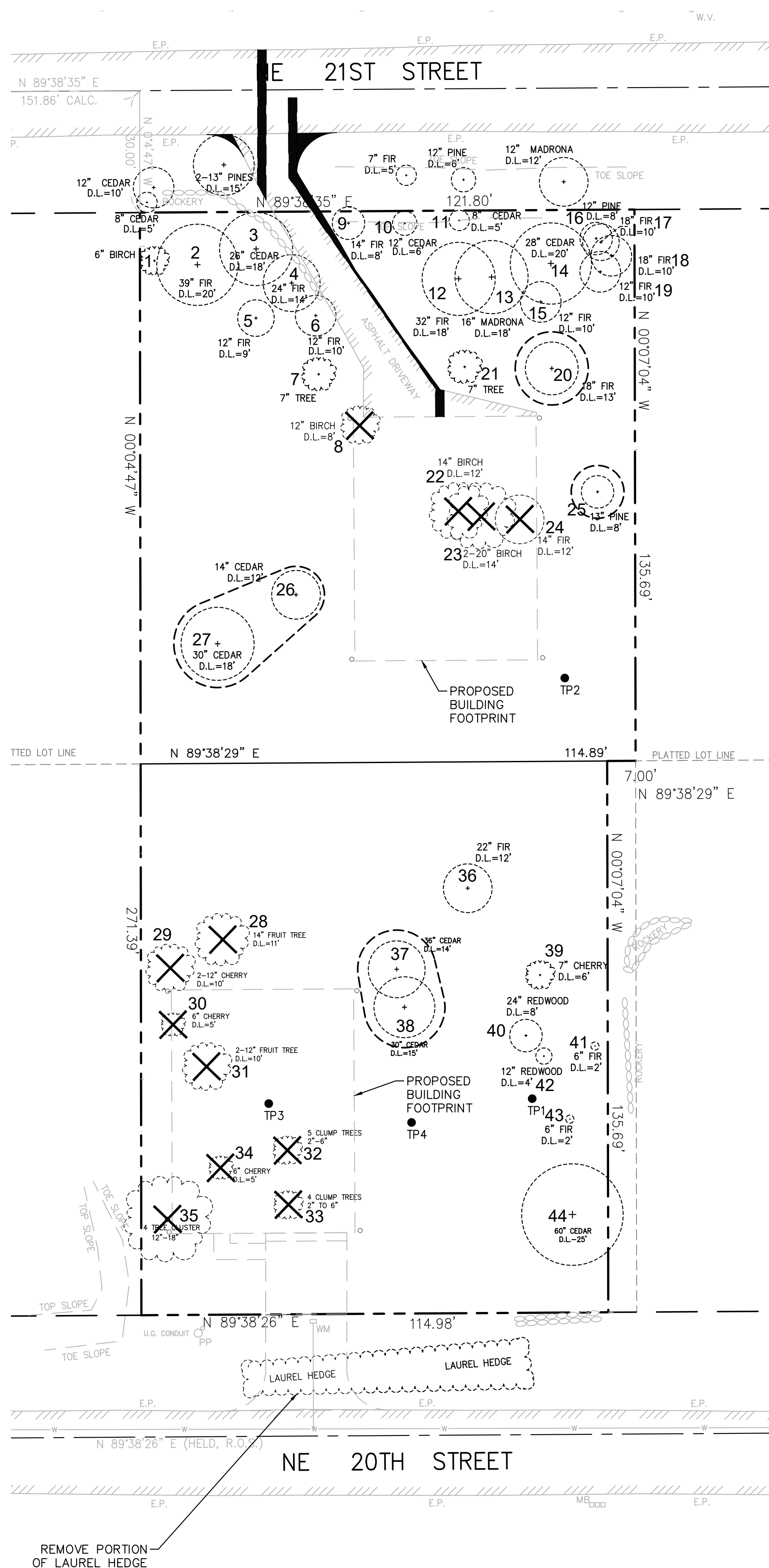


**TOPOGRAPHY, BOUNDARY, AND UTILITIES STATEMENT:**  
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NE 1/4 NE 1/4 SEC. 30, T. 25N., R. 05 E, W.M.  
**KD 2-LOT SHORT PLAT**



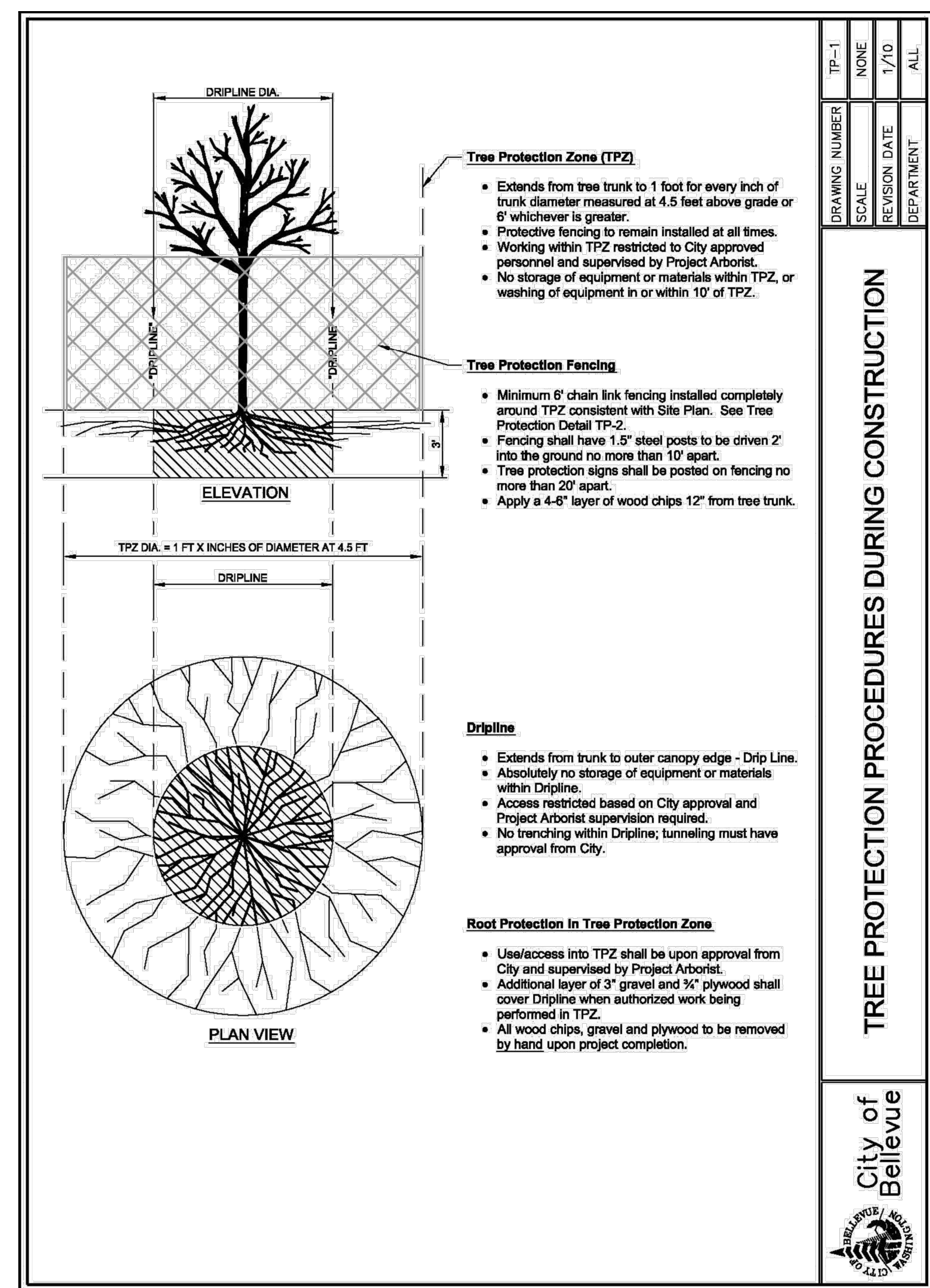
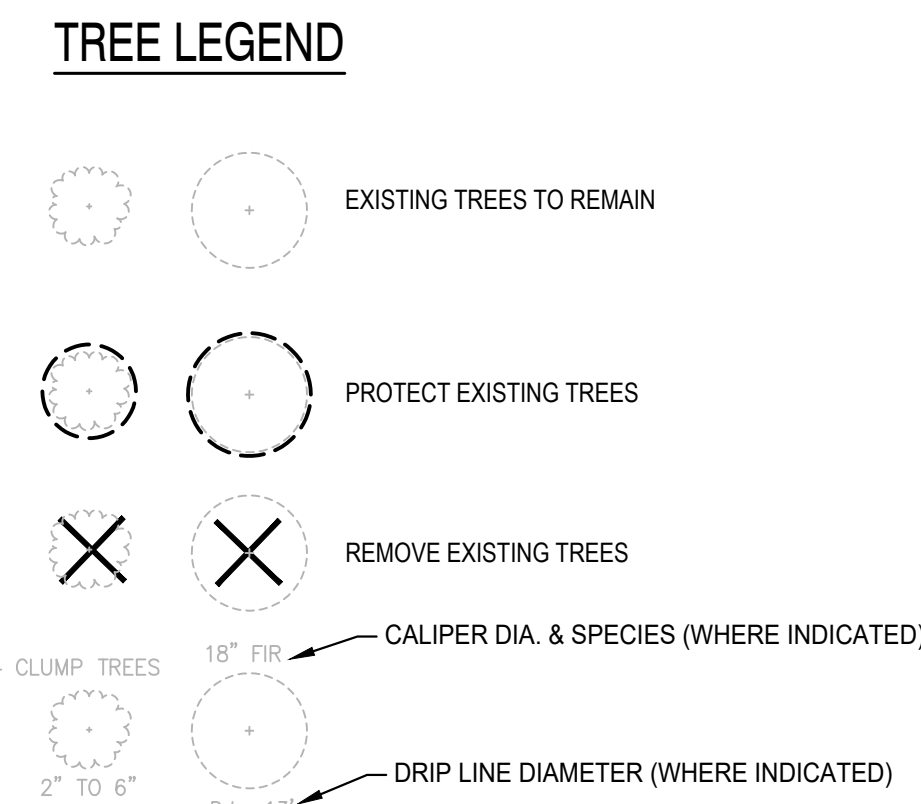
TREE TABLE							
NO.	DBH (INCHES)	SPECIES	REMOVE/RETAIN	SIGNIFICANT	LOT	D RIP LINE (FT)	NOTES
1	6	BIRCH	RETAIN	NO	1	NOT SPECIFIED	
2	39	FIR	RETAIN	YES	1	20	
3	26	CEDAR	RETAIN	YES	1	18	
4	24	FIR	RETAIN	YES	1	14	
5	12	FIR	RETAIN	YES	1	9	
6	12	FIR	RETAIN	YES	1	10	
7	7	NOT SPECIFIED	RETAIN	NO	1	NOT SPECIFIED	
8	12	BIRCH	REMOVE	YES	1	8	
9	14	FIR	RETAIN	YES	1	8	
10	12	CEDAR	RETAIN	YES	1	6	
11	8	CEDAR	RETAIN	YES	1	5	
12	32	FIR	RETAIN	YES	1	18	
13	16	MADRONA	RETAIN	YES	1	18	
14	28	CEDAR	RETAIN	YES	1	20	
15	12	FIR	RETAIN	YES	1	10	
16	12	PINE	RETAIN	YES	1	8	
17	18	FIR	RETAIN	YES	1	10	
18	18	FIR	RETAIN	YES	1	10	
19	12	FIR	RETAIN	YES	1	10	
20	18	FIR	RETAIN	YES	1	13	
21	7	NOT SPECIFIED	RETAIN	NO	1	NOT SPECIFIED	
22	14	BIRCH	REMOVE	YES	1	12	
23	20	BIRCH	REMOVE	YES	1	14	
24	14	FIR	REMOVE	YES	1	12	CLUSTER OF 2
25	13	PINE	RETAIN	YES	1	8	
26	14	CEDAR	RETAIN	YES	1	12	
27	30	CEDAR	RETAIN	YES	1	18	
28	14	FRUIT	REMOVE	YES	2	11	
29	12	CHERRY	REMOVE	YES	2	10	CLUSTER OF 2
30	6	CHERRY	REMOVE	NO	2	5	
31	12	FRUIT	REMOVE	YES	2	10	CLUSTER OF 2
32	2 TO 6	NOT SPECIFIED	REMOVE	NO	2	NOT SPECIFIED	CLUSTER OF 5
33	2 TO 6	NOT SPECIFIED	REMOVE	NO	2	NOT SPECIFIED	CLUSTER OF 4
34	6	CHERRY	REMOVE	NO	2	5	
35	12 TO 28	NOT SPECIFIED	REMOVE	YES	2	NOT SPECIFIED	CLUSTER OF 4
36	22	FIR	RETAIN	YES	2	12	
37	36	CEDAR	RETAIN	YES	2	14	
38	30	CEDAR	RETAIN	YES	2	15	
39	7	CHERRY	RETAIN	NO	2	6	
40	24	REDWOOD	RETAIN	YES	2	8	
41	6	FIR	RETAIN	NO	2	2	
42	12	REDWOOD	RETAIN	YES	2	4	
43	6	FIR	RETAIN	NO	2	2	
44	60	CEDAR	RETAIN	YES	2	25	

SIGNIFICANT TREES ON SITE (LOT 1)	24 = DBH 430 IN
SIGNIFICANT TREES TO BE REMOVED (LOT 1)	4 = DBH 60 IN
% OF DIAMETER INCHES RETAINED (LOT 1)	86.05%
SIGNIFICANT TREES ON SITE (LOT 2)	10 = DBH 278 IN
SIGNIFICANT TREES TO BE REMOVED (LOT 2)	4 = DBH 94 IN
% OF DIAMETER INCHES RETAINED (LOT 2)	66.19%

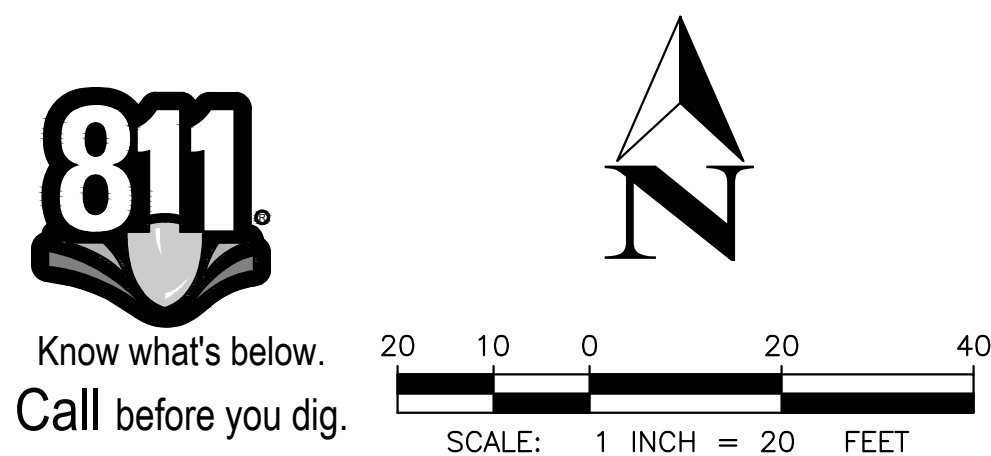
PARCEL AREA
LOT 1 = 16,533 SF (0.38 AC)
LOT 2 = 15,595 SF (0.36 AC)

TREE RETENTION PER LUC 20.20.900.D

IN AREAS OF THE SITE OTHER THAN THE REQUIRED PERIMETER LANDSCAPING AREA, THE APPLICANT MUST RETAIN AT LEAST 15 PERCENT OF THE DIAMETER INCHES OF THE SIGNIFICANT TREES EXISTING IN THIS AREA; PROVIDED, THAT ALDER AND COTTONWOOD TREES' DIAMETER INCHES SHALL BE DISCOUNTED BY A FACTOR OF 0.5.



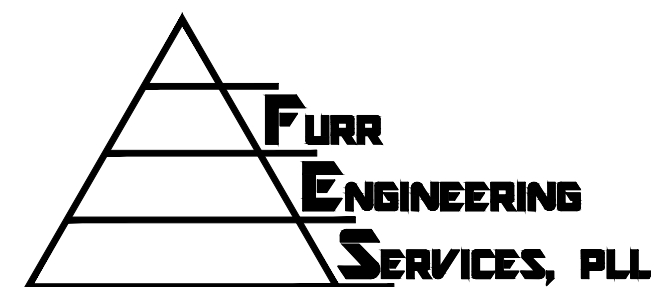
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KD 2-LOT SHORT PLAT  
9821 NE 20TH ST  
BELLEVUE, WA 98004

### Key Plan

## Registration



4715 142nd Pl. SW #B,  
Edmonds, WA 98026  
ph 206.890.8291

Sheet Title

## TREE RETENTION PLAN

[illegible]

Scale:	
FES Project No:	21072
Date:	JUNE 3, 2021
Designed:	DAF
Drawn:	TJW
Checked:	DAF

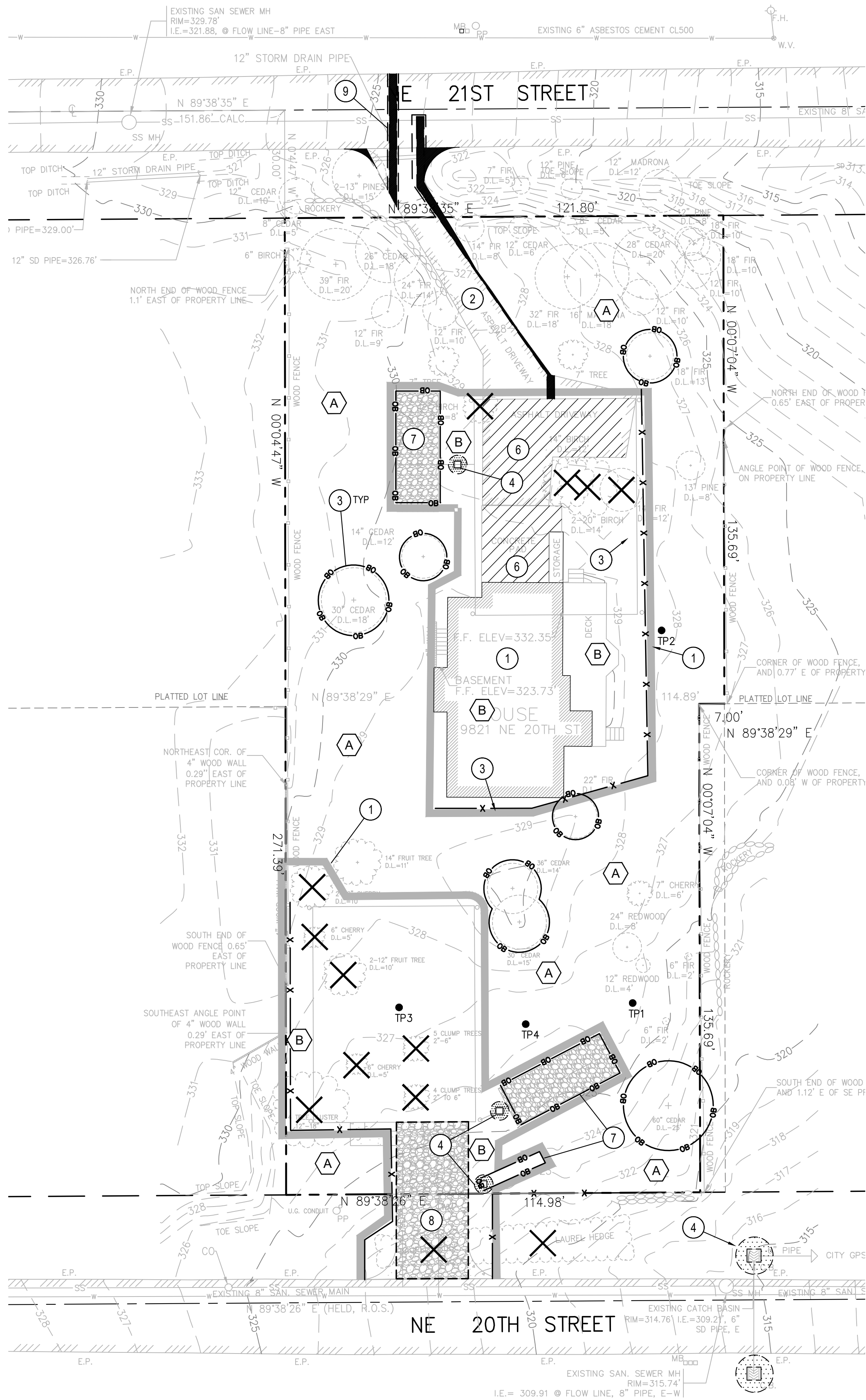
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# C1.2



NE 1/4 NE 1/4 SEC. 30, T. 25N., R. 05 E, W.M.

# KD 2-LOT SHORT PLAT



## LEGEND

- X HIGH VISIBILITY SILT FENCE
- LIMITS OF CLEARING AND GRADING
- X TREE TO BE REMOVED
- O TREE TO BE PROTECTED
- CONCRETE/ASPHALT/GRAVEL TO BE REMOVED
- INLET PROTECTION
- SAWCUT

## BMP T5.13 SOIL AMENDMENT

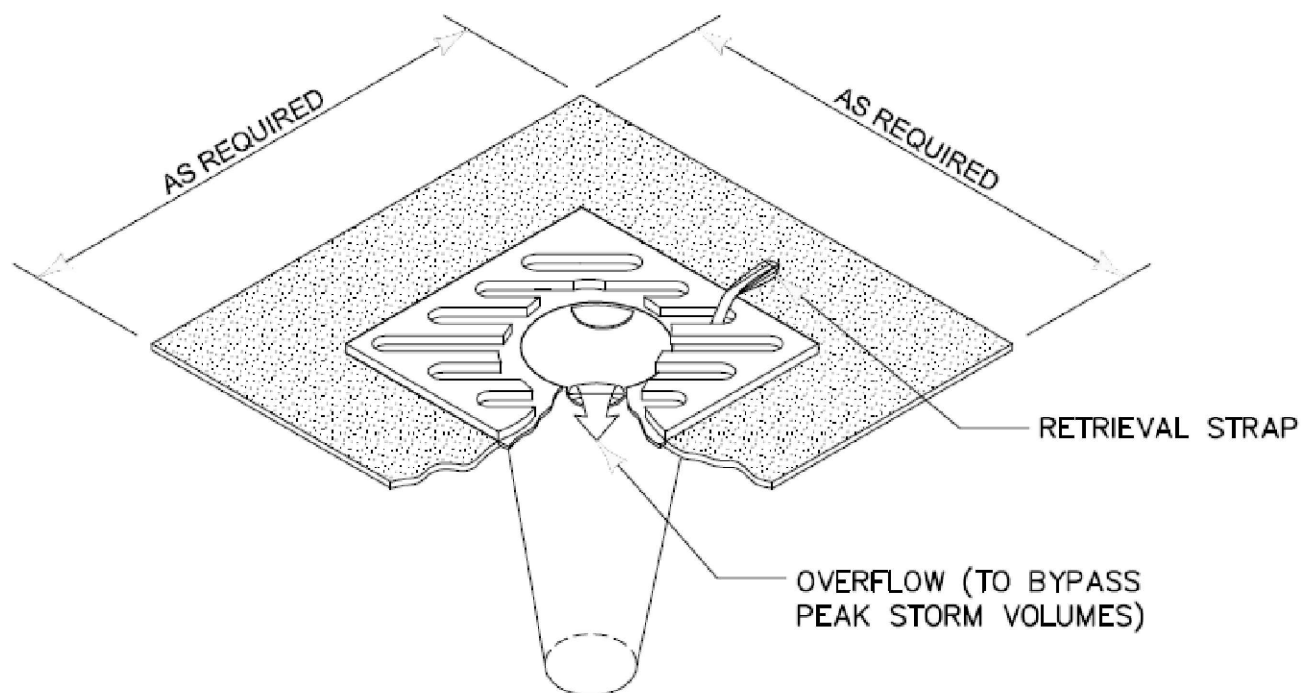
### IMPLEMENTATION OPTIONS:

- A LEAVE UNDISTURBED NATIVE VEGETATION AND SOIL, AND PROTECT FROM COMPACTION DURING CONSTRUCTION.
- B AMEND EXISTING SITE TOPSOIL OR SUBSOIL EITHER AT DEFAULT 'PRE-APPROVED' RATES, OR AT CUSTOM CALCULATED RATES BASED ON TESTS OF THE SOIL AND AMENDMENT.
- C NOT PROPOSED BUT CAN BE USED IN CONJUNCTION WITH STOCKPILE EXISTING TOPSOIL DURING GRADING, AND REPLACE IT PRIOR TO PLANTING. STOCKPILED TOPSOIL MUST ALSO BE AMENDED IF NEEDED TO MEET THE ORGANIC MATTER OR DEPTH REQUIREMENTS, EITHER AT A DEFAULT 'PRE-APPROVED' RATE OR AT A CUSTOM CALCULATED RATE.

## CONSTRUCTION NOTES

- 1 FLAG CLEARING LIMITS TO EXTENTS SHOWN ON THE PLAN.
- 2 EXISTING DRIVEWAY TO BE USED AS CONSTRUCTION ENTRANCE
- 3 HIGH VISIBILITY SILT FENCE
- 4 CATCH BASIN INSERT PER DETAIL THIS SHEET
- 5 REMOVE EXISTING STRUCTURES
- 6 REMOVE EXISTING PAVEMENT
- 7 HIGH VISIBILITY SILT FENCE AROUND INFILTRATION TRENCH. NO COMPACTION ZONE, NO VEHICLE SHALL DRIVE OVER AREA
- 8 STABILIZED CONSTRUCTION ENTRANCE PER DOE BMP C-105
- 9 TRENCH CUT PER CITY OF BELLEVUE STD. DETAIL S-14

## STORM DRAIN INSERT

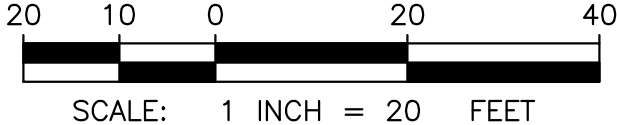


### NOTES:

1. STORM DRAIN INSERTS NEED TO BE REMOVED AT THE END OF THE PROJECT
2. STORM DRAIN INSERTS ARE ONLY TO BE INSTALLED IN DRAINAGE DEVICES PER THE MFR. RECOMMENDATIONS. CATCH BASIN INSERTS ARE NOT TO BE INSTALLED CURB INLETS.
3. INSERTS SHALL BE INSPECTED AND MAINTAINED WHEN A 1/2 INCH RAIN ACCUMULATES WITHIN A 24 HOUR PERIOD. CLEAN OR REPLACE INSERT WHEN ONE-THIRD OF THE TRAP IS FILLED WITH SEDIMENT.

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## EROSION CONTROL NOTES

- ALL CLEARING & GRADING CONSTRUCTION MUST BE IN ACCORDANCE WITH CITY OF BELLEVUE (COB) CLEARING & GRADING CODE, CLEARING & GRADING DEVELOPMENT STANDARDS, LAND USE CODE, UNIFORM BUILDING CODE, PERMIT CONDITIONS AND ALL OTHER APPLICABLE CODES, ORDINANCES AND STANDARDS. THE DESIGN ELEMENTS WITHIN THESE PLANS HAVE BEEN REVIEWED ACCORDING TO THESE REQUIREMENTS. ANY VARIANCE FROM ADOPTED EROSION CONTROL STANDARDS IS NOT ALLOWED UNLESS SPECIFICALLY APPROVED BY THE CITY OF BELLEVUE DEVELOPMENT SERVICES DEPARTMENT PRIOR TO CONSTRUCTION. IT SHALL BE THE SOLE RESPONSIBILITY OF THE APPLICANT AND THE PROFESSIONAL CIVIL ENGINEER TO CORRECT ANY ERROR, OMISSION OR VARIATION FROM THE ABOVE REQUIREMENTS FOUND IN THESE PLANS. ALL CORRECTIONS SHALL BE AT NO ADDITIONAL COST OR LIABILITY TO THE CITY OF BELLEVUE.
- APPROVAL OF THIS EROSION/SEDIMENTATION CONTROL (ESC) PLAN DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR DRAINAGE DESIGN (E.G. SIZE AND LOCATION OF ROADS, PIPES, RESTRICTERS, CHANNELS, RETENTION FACILITIES, UTILITIES, ETC.).
- A COPY OF THE APPROVED PLANS AND DRAWINGS MUST BE ON SITE DURING CONSTRUCTION. THE APPLICANT IS RESPONSIBLE FOR OBTAINING ANY OTHER REQUIRED OR RELATED PERMITS PRIOR TO BEGINNING CONSTRUCTION.
- THE IMPLEMENTATION OF THESE ESC PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT AND UPGRADING OF THESE ESC FACILITIES IS THE RESPONSIBILITY OF THE APPLICANT/CONTRACTOR UNTIL ALL CONSTRUCTION IS COMPLETED AND APPROVED AND VEGETATION/LANDSCAPING IS ESTABLISHED.
- THE ESC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES, AND IN SUCH A MANNER AS TO INSURE THAT SEDIMENT AND SEDIMENT-LADEN WATER DO NOT ENTER THE DRAINAGE SYSTEM OR ROADWAYS, OR VIOLATE APPLICABLE WATER STANDARDS.
- THE ESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESC FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND TO ENSURE THAT SEDIMENT AND SEDIMENT-LADEN WATER DO NOT LEAVE THE SITE.

- ALL LOCATIONS OF EXISTING UTILITIES HAVE BEEN ESTABLISHED BY FIELD SURVEY OR OBTAINED FROM AVAILABLE RECORDS AND SHOULD, THEREFORE, BE CONSIDERED ONLY APPROXIMATE AND NOT NECESSARILY COMPLETE. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO INDEPENDENTLY VERIFY THE ACCURACY OF ALL UTILITY LOCATIONS AND TO DISCOVER AND AVOID ANY OTHER UTILITIES NOT SHOWN WHICH MAY BE AFFECTED BY THE IMPLEMENTATION OF THIS PLAN.

- THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN SHALL BE CLEARLY FLAGGED IN THE FIELD PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE FLAGGED CLEARING LIMITS SHALL BE PERMITTED. THE FLAGGING SHALL BE MAINTAINED BY THE APPLICANT/CONTRACTOR FOR THE DURATION OF CONSTRUCTION.

- CLEARING SHALL BE LIMITED TO THE AREAS WITHIN THE APPROVED DISTURBANCE LIMITS. EXPOSED SOILS MUST BE COVERED AT THE END OF EACH WORKING DAY WHEN WORKING FROM OCTOBER 1 THROUGH APRIL 30. FROM MAY 1 THROUGH SEPTEMBER 30, EXPOSED SOILS MUST BE COVERED AT THE END OF EACH CONSTRUCTION WEEK AND ALSO AT THE THREAT OF RAIN.

- AT NO TIME SHALL MORE THAN ONE FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A TRAPPED CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT LADEN WATER INTO THE DOWNSTREAM SYSTEM.

- STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT.

- THE CONTRACTOR MUST MAINTAIN A SWEEPER ON SITE DURING EARTHWORK AND IMMEDIATELY REMOVE SOIL THAT HAS BEEN TRACKED ONTO PAVED AREAS AS RESULT OF CONSTRUCTION.

- THE ESC FACILITIES SHALL BE INSPECTED DAILY BY THE APPLICANT/CONTRACTOR AND MAINTAINED AS NECESSARY TO ENSURE THEIR CONTINUED FUNCTIONING.

- ANY EXCAVATED MATERIAL REMOVED FROM THE CONSTRUCTION SITE AND DEPOSITED ON PROPERTY WITHIN THE CITY LIMITS MUST BE DONE IN COMPLIANCE WITH A VALID CLEARING & GRADING PERMIT. LOCATIONS FOR THE MOBILIZATION AREA AND STOCKPILED MATERIAL MUST BE APPROVED BY THE CLEARING & GRADING INSPECTOR AT LEAST 24 HOURS IN ADVANCE OF ANY STOCKPILING.

- THE ESC FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITHIN THE 48 HOURS FOLLOWING A MAJOR STORM EVENT.

- FINAL SITE GRADING MUST DIRECT DRAINAGE AWAY FROM ALL BUILDING STRUCTURES AT A MINIMUM 5% SLOPE, PER THE INTERNATIONAL RESIDENTIAL CODE (IRC) R401.3.

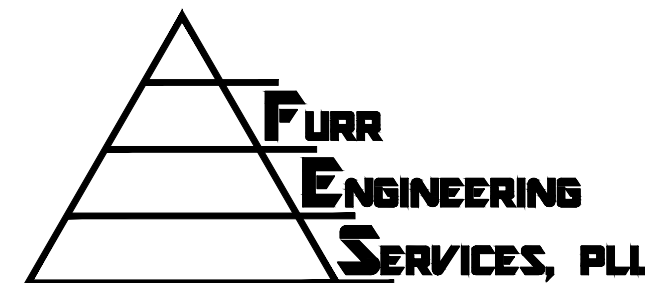
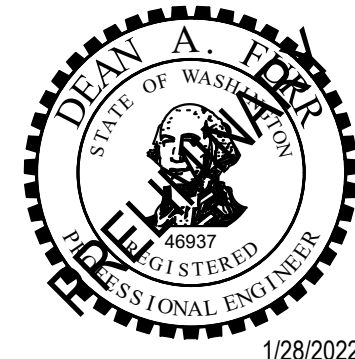
## CONSTRUCTION SEQUENCE

1. SCHEDULE AND ATTEND A PRE-CONSTRUCTION MEETING WITH THE CITY OF BELLEVUE
2. FLAG OR FENCE CLEARING LIMITS.
3. INSTALL PERIMETER PROTECTION (SILT FENCE, BRUSH BARRIERS, ETC.)
4. MAINTAIN EROSION CONTROL MEASURES, OR INSTALL NEW MEASURES SO THAT AS THE SITE CONDITIONS CHANGE, THE EROSION AND SEDIMENT CONTROL IS ALWAYS IN ACCORDANCE WITH THE DEPARTMENT OF ECOLOGY EROSION AND SEDIMENT CONTROL STANDARDS AND THE MANUFACTURES RECOMMENDATIONS.
5. SEED OR SOD ANY AREAS TO REMAIN UNWORKED FOR MORE THAN 30 DAYS.
6. UPON COMPLETION, STABILIZE ALL DISTURBED AREAS AND REMOVE BMPs, IF APPROPRIATE.

KD 2-LOT SHORT PLAT  
9821 NE 20TH ST  
BELLEVUE, WA 98004

Key Plan

Registration



4715 142nd Pl. SW #B,  
Edmonds, WA 98026  
ph 206.890.8291

Sheet Title

## TESC PLAN

Revisions

REV	REV DATE	REV DESCRIPTION
1	01/28/2022	PER CITY COMMENTS

Scale:

FES Project No: 21072

Date: JUNE 3, 2021

Designed: DAF

Drawn: TJW

Checked: DAF

Sheet Number

C2.0

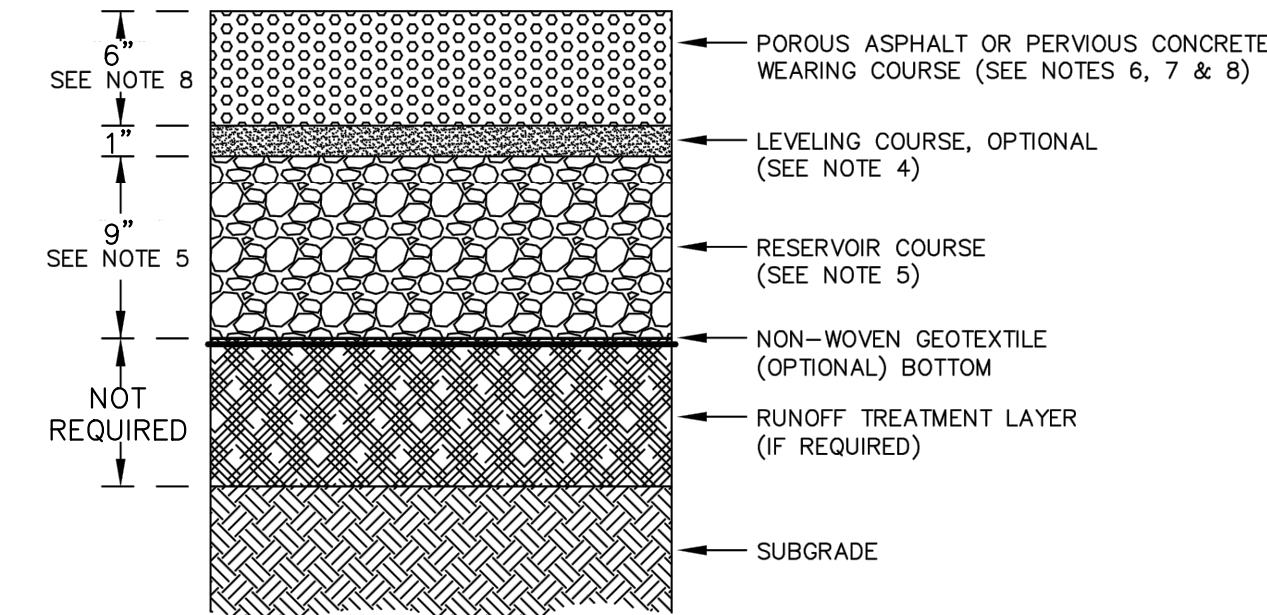


NE 1/4 NE 1/4 SEC. 30, T. 25N., R. 05 E, W.M.

KD 2-LOT SHORT PLAT

STORM DRAINAGE NOTES

- 1) STORM PIPE SHALL BE PVC CONFORMING TO ASTM D-3034 SDR 35 (4" - 15") OR ASTM F-679 (18"-27"). BEDDING AND BACKFILL SHALL BE AS SHOWN IN THE STANDARD DETAILS.
- 2) THE FOOTING DRAINAGE SYSTEM AND THE ROOF DOWNSPOUT SYSTEM SHALL NOT BE INTERCONNECTED AND SHALL SEPARATELY CONVEY COLLECTED FLOWS TO THE CONVEYANCE SYSTEM OR TO ON-SITE STORMWATER FACILITIES.
- 3) PRIOR TO FINAL INSPECTION AND ACCEPTANCE OF STORM DRAINAGE WORK, PIPES AND STORM DRAIN STRUCTURES SHALL BE CLEANED AND FLUSHED. ANY OBSTRUCTIONS TO FLOW WITHIN THE STORM DRAIN SYSTEM, (SUCH AS RUBBLE, MORTAR AND WEDGED DEBRIS), SHALL BE REMOVED AT THE NEAREST STRUCTURE. WASH WATER OF ANY SORT SHALL NOT BE DISCHARGED TO THE STORM DRAIN SYSTEM OR SURFACE WATERS.
- 4) ENDS OF EACH STORM DRAIN STUB AT THE PROPERTY LINE SHALL BE CAPPED AND LOCATED WITH AN 8' LONG 2" X 4" BOARD, EMBEDDED TO THE STUB CAP AND EXTENDING AT LEAST 3 FEET ABOVE GRADE, AND MARKED PERMANENTLY "STORM". A COPPER 12 GA. LOCATE WIRE FIRMLY ATTACHED. THE STUB DEPTH SHALL BE INDICATED ON THE MARKER.
- 5) ALL GRATES IN ROADWAYS SHALL BE DUCTILE IRON, BOLT-LOCKING, VANED GRATES PER THE STANDARD DETAILS. STRUCTURES IN TRAFFIC LANES OUTSIDE OF THE CURB LINE WHICH DO NOT COLLECT RUNOFF SHALL BE FITTED WITH ROUND, BOLT-LOCKING FRAMES AND SOLID COVERS. OFF-STREET STRUCTURES WHICH DO NOT COLLECT RUNOFF SHALL BE FITTED WITH BOLT-LOCKING SOLID COVERS.
- 6) VEGETATION/LANDSCAPING IN THE DETENTION POND, BIORETENTION FACILITY, VEGETATED ROOF AND/OR DRAINAGE SWALE(S) ARE AN INTEGRAL PART OF THE RUNOFF TREATMENT SYSTEM FOR THE PROJECT. SUCH DRAINAGE FACILITIES WILL NOT BE ACCEPTED UNTIL PLANTINGS ARE ESTABLISHED.
- 7) ALL NEW MANHOLES SHALL HAVE A MINIMUM INSIDE DIAMETER OF 48 INCHES AND SHALL CONFORM TO THE STANDARD DETAILS. ALL NEW CATCH BASINS SHALL CONFORM TO THE STANDARD DETAILS.
- 8) STORM STUB STATIONS ARE REFERENCED FROM NEAREST DOWNSTREAM MANHOLE/ CATCH BASIN.
- 9) ALL TESTING AND CONNECTIONS TO EXISTING MAINS SHALL BE DONE IN THE PRESENCE OF THE CITY'S INSPECTOR.
- 10) ALL PUBLIC STORM DRAINS SHALL BE AIR TESTED AND HAVE A VIDEO INSPECTION PERFORMED PRIOR TO ACCEPTANCE (SEE #17 BELOW). STORM MAIN CONSTRUCTED WITH FLEXIBLE PIPE SHALL BE DEFLECTION TESTED WITH A MANDREL PRIOR TO ACCEPTANCE.
- 11) STORM STUBS SHALL BE TESTED FOR ACCEPTANCE AT THE SAME TIME THE STORM MAIN IS TESTED.
- 12) ALL MANHOLES/ CATCH BASINS IN UNPAVED AREAS SHALL INCLUDE A CONCRETE SEAL AROUND ADJUSTMENT RINGS PER STANDARD DETAILS.
- 13) ALL STORM MAIN EXTENSIONS WITHIN THE PUBLIC RIGHT-OF-WAY OR IN EASEMENTS MUST BE "STAKED" BY A SURVEYOR LICENSED IN WASHINGTON STATE FOR "LINE AND GRADE" AND CUT SHEETS PROVIDED TO THE CITY'S INSPECTOR, PRIOR TO STARTING CONSTRUCTION.
- 14) STORM DRAINAGE MAINLINES, STUBS AND FITTINGS SHALL BE CONSTRUCTED USING THE SAME PIPE MATERIAL AND MANUFACTURER. CONNECTIONS BETWEEN STUBS AND THE MAINLINE WILL BE MADE WITH A TEE FITTING. TEE FITTING SHALL BE FROM SAME MANUFACTURER AS PIPE. CUT-IN CONNECTIONS ARE ONLY ALLOWED WHEN CONNECTING A NEW STUB TO AN EXISTING MAINLINE.
- 15) MANHOLES, CATCH BASINS AND VAULTS ARE CONSIDERED TO BE PERMIT-REQUIRED CONFINED SPACES. ENTRY INTO THESE SPACES SHALL BE IN ACCORDANCE WITH CHAPTER 296-809 WAC.
- 16) PLACEMENT OF SURFACE APPURTENANCES (MH LIDS, VALVE LIDS, ETC.) IN TIRE TRACKS OF TRAFFIC LANES SHALL BE AVOIDED WHENEVER POSSIBLE.
- 17) THE CONTRACTOR SHALL PERFORM A VIDEO INSPECTION AND PROVIDE A DIGITAL COPY OF THE VIDEO INSPECTION FOR THE CITY'S REVIEW. THE VIDEO SHALL PROVIDE A MINIMUM OF 480 X 640 RESOLUTION AND COVER THE ENTIRE LENGTH OF THE APPLICABLE PIPE. THE CAMERA SHALL BE MOVED THROUGH THE PIPE AT A UNIFORM RATE ( $\leq 30$  FT/MIN), STOPPING WHEN NECESSARY TO ENSURE PROPER DOCUMENTATION OF THE PIPE CONDITION. THE VIDEO SHALL BE TAKEN AFTER INSTALLATION AND CLEANING TO INSURE THAT NO DEFECTS EXIST. THE PROJECT WILL NOT BE ACCEPTED UNTIL ALL DEFECTS HAVE BEEN REPAIRED.
- 18) NOT USED.
- 19) ALL CONCRETE STRUCTURES (VAULTS, CATCH BASINS, MANHOLES, OIL/WATER SEPARATORS, ETC.) SHALL BE VACUUM TESTED.
- 20) MANHOLES, CATCH BASINS AND INLETS IN EASEMENTS SHALL BE CONSTRUCTED TO PROVIDE A STABLE, LEVEL GRADE FOR A MINIMUM RADIUS OF 2.5 FEET AROUND THE CENTER OF THE ACCESS OPENING TO ACCOMMODATE CONFINED SPACE ENTRY EQUIPMENT.
- 21) TOPS OF MANHOLES/ CATCH BASINS WITHIN PUBLIC RIGHT-OF-WAY SHALL NOT BE ADJUSTED TO FINAL GRADE UNTIL AFTER PAVING.
- 22) CONTRACTOR SHALL ADJUST ALL MANHOLE/ CATCH BASIN RIMS TO BE FLUSH WITH FINAL FINISHED GRADES, UNLESS OTHERWISE SHOWN.
- 23) DURING CONSTRUCTION, CONTRACTOR SHALL INSTALL, AT ALL CONNECTIONS TO EXISTING DOWNSTREAM MANHOLES/CATCH BASINS, SCREENS OR PLUGS TO PREVENT FOREIGN MATERIALS FROM ENTERING EXISTING STORM DRAINAGE SYSTEM. SCREENS OR PLUGS SHALL REMAIN IN PLACE THROUGHOUT THE DURATION OF THE CONSTRUCTION AND SHALL BE REMOVED ALONG WITH COLLECTED DEBRIS AT THE TIME OF FINAL INSPECTION AND IN THE PRESENCE OF THE CITY'S INSPECTOR.
- 24) NOT USED.
- 25) MINIMUM COVER OVER STORM DRAINAGE PIPE SHALL BE 2 FEET, UNLESS OTHERWISE SHOWN.
- 26) REDIRECT SHEET FLOW, BLOCK DRAIN INLETS AND/OR CURB OPENINGS IN PAVEMENT AND INSTALL FLOW DIVERSION MEASURES TO PREVENT CONSTRUCTION SILT LADEN RUNOFF AND DEBRIS FROM ENTERING EXCAVATIONS AND FINISH SURFACES FOR BIORETENTION FACILITIES AND PERMEABLE PAVEMENTS.
- 27) WHERE AMENDED SOILS, BIORETENTION FACILITIES, AND PERMEABLE PAVEMENTS ARE INSTALLED, THESE AREAS SHALL BE PROTECTED AT ALL TIMES FROM BEING OVER-COMPACTED.



NOTES:

1. PERMEABLE PAVEMENT WITHIN CITY RIGHT-OF-WAY REQUIRES APPROVAL BY THE CITY WHEN PLACED BENEATH A TRAVELED WAY. THESE GUIDELINES PROVIDE MINIMUM MATERIAL DEPTHS. THE STRUCTURAL CAPACITY OF PAVEMENT SECTIONS WHEN SUBJECT TO VEHICULAR LOADS DEPENDS ON SEVERAL FACTORS AND MUST BE DESIGNED BY A LICENSED PROFESSIONAL ENGINEER.
2. LONGITUDINAL SLOPE, 0 TO 5% MAX. FOR POROUS ASPHALT, 6% MAX. FOR PERVIOUS CONCRETE.
3. USE CHECK DAM OR OTHER METHODS TO MAXIMIZE PONDING IN THE SUBSURFACE FOR LONGITUDINAL SLOPES EXCEEDING 2%. SEE STANDARD DETAIL NDP-15.
4. LEVELING COURSE MATERIALS: 1.5" TO U.S. NO. 8 UNIFORMLY GRADED, CRUSHED (ANGULAR), THOROUGHLY WASHED STONE.
5. RESERVOIR COURSE MINIMUM DEPTH OF 6" WITHOUT UNDERDRAIN, 22" MINIMUM WITH UNDERDRAIN.
6. PERVIOUS CONCRETE MUST BE INSTALLED BY A CERTIFIED PERVIOUS CONCRETE INSTALLER. POROUS ASPHALT MUST BE INSTALLED BY AN EXPERIENCED POROUS ASPHALT INSTALLER.
7. SEE CHAPTER D6-05 HEREIN FOR ALL MATERIALS.
8. THE PAVEMENT THICKNESS SHALL BE A MINIMUM OF FIVE INCHES FOR A SIDEWALK AND SIX INCHES AT ALL DRIVEWAY APPROACHES.



CITY OF BELLEVUE  
STORM AND SURFACE  
WATER UTILITY

TITLE  
POROUS ASPHALT OR PERVIOUS  
CONCRETE PAVEMENT SECTION  
NO. NDP-11

TOPOGRAPHY, BOUNDARY, AND UTILITIES STATEMENT:

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CONSTRUCTION NOTES

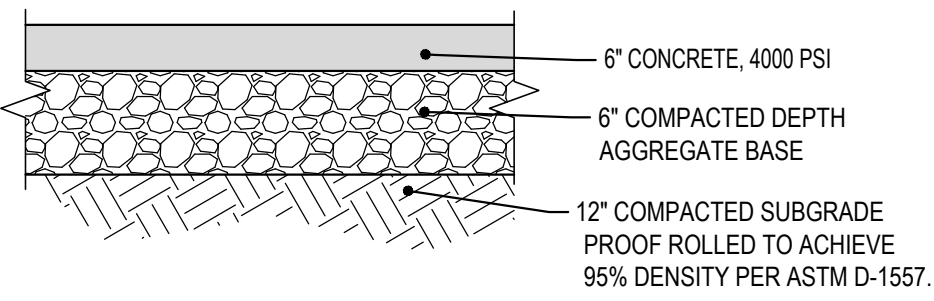
- 1) DOWNSPOUT INFILTRATION TRENCH PER CITY OF BELLEVUE STD DETAIL NDP-23
- 2) CATCH BASIN TYPE 1 PER CITY OF BELLEVUE STD. DETAIL D-2
- 3) DRIVEWAY APPROACH PER CITY OF BELLEVUE STD. DETAIL SW-190-1
- 4) PERMEABLE CONCRETE PER CITY OF BELLEVUE STD. DETAIL NDP-11, THIS SHEET
- 5) PROPOSED MAIL BOX AND STAND PER CITY OF BELLEVUE STD DETAIL RC-270-1
- 6) EXISTING MAIL BOX TO BE USED FOR LOT 2

PROPOSED LEGEND

- CONCRETE PAVEMENT
- PROPERTY BOUNDARY
- FINISH GRADE SPOT ELEVATION
- EXISTING GRADE SPOT ELEVATION
- PERMEABLE PAVEMENT

EARTHWORK QUANTITIES (SITE)

CUT = 75 CY  
FILL = 25 CY  
NET = 50 CY (CUT)

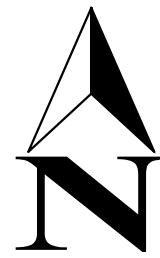


CONCRETE DRIVEWAY SECTION

NOT TO SCALE



Know what's below.  
Call before you dig.

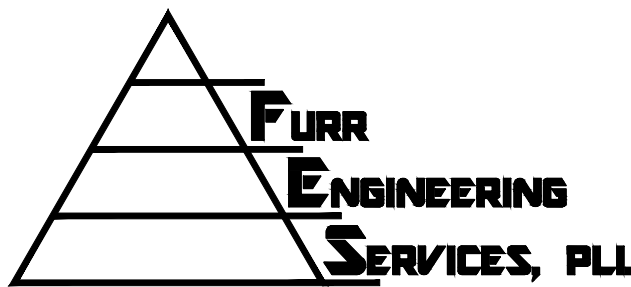
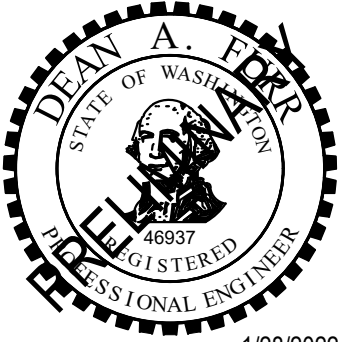


20 10 0 20 40  
SCALE: 1 INCH = 20 FEET

KD 2-LOT SHORT PLAT  
9821 NE 20TH ST  
BELLEVUE, WA 98004

Key Plan

Registration



4715 142nd Pl. SW #B,  
Edmonds, WA 98026  
ph 206.890.8291

Sheet Title

DRAINAGE & GRADING  
PLAN

Revisions

REV	REV DATE	REV DESCRIPTION
1	01/28/2022	PER CITY COMMENTS

Scale:

FES Project No: 21072

Date: JUNE 3, 2021

Designed: DAF

Drawn: TJW

Checked: DAF

Sheet Number

C3.0



NE 1/4 NE 1/4 SEC. 30, T. 25N., R. 05 E, W.M.

# KD 2-LOT SHORT PLAT

CONSTRUCTION NOTES

- 1

1" WATER METER PER CITY OF BELLEVUE STD DETAIL W-23
- 2

6" SS @2% MIN. PER CITY OF BELLEVUE STD. DETAIL S-17C
- 3

6" CLEAN OUT (TYP) PER CITY OF BELLEVUE STD. DETAIL S-16

PROPOSED LEGEND

- CONCRETE PAVEMENT
- PROPERTY BOUNDARY

WATER NOTES:

1. ALL WORK SHALL CONFORM TO THE 2021 CITY OF BELLEVUE UTILITY ENGINEERING STANDARDS AND THE DEVELOPER EXTENSION AGREEMENT.
2. ALL PIPE SHALL BE DUCTILE IRON CLASS 52 UNLESS OTHERWISE SHOWN.
3. ALL PIPE AND FITTINGS NOT TO BE DISINFECTED IN PLACE SHALL BE SWABBED WITH 1% AVAILABLE CHLORINE SOLUTION PRIOR TO INSTALLATION.
4. THE NEW WATERMAIN SHALL BE CONNECTED TO THE EXISTING SYSTEM ONLY AFTER NEW MAIN IS PRESSURE TESTED, FLUSHED, DISINFECTED AND SATISFACTORY BACTERIOLOGICAL SAMPLE RESULTS ARE OBTAINED AND RECEIVED BY THE CITY INSPECTOR. SEE STANDARD DETAIL W-9.
5. AFTER DISINFECTING THE WATERMAIN, DISPOSE OF CHLORINATED WATER BY DISCHARGING TO THE NEAREST OPERATING SANITARY SEWER.
6. WATERMAIN SHUT-OFF SHALL BE COORDINATED WITH THE WATER OPERATIONS DIVISION FOR PREFERRED TIMING DURING FLOW CONTROL CONDITIONS. WATERMAIN SHUT-OFFS SHALL NOT BE SCHEDULED TO TAKE PLACE ON FRIDAYS, OR ON THE FIVE DAYS BEFORE NOR ONE DAY AFTER A CITY HOLIDAY, UNLESS OTHERWISE APPROVED BY THE UTILITY.
7. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN HEREON HAVE BEEN ESTABLISHED BY FIELD SURVEY OR OBTAINED FROM AVAILABLE RECORDS AND SHOULD THEREFORE BE CONSIDERED APPROXIMATE ONLY AND NOT NECESSARILY COMPLETE. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO INDEPENDENTLY VERIFY THE ACCURACY OF ALL UTILITY LOCATIONS SHOWN, AND TO FURTHER DISCOVER AND AVOID ANY OTHER UTILITIES NOT SHOWN HEREON WHICH MAY BE AFFECTED BY THE IMPLEMENTATION OF THIS PLAN.
8. DEFLECT THE WATERMAIN ABOVE OR BELOW EXISTING UTILITIES AS REQUIRED TO MAINTAIN 3 FT. MINIMUM COVER AND 12 INCH MINIMUM VERTICAL CLEARANCE BETWEEN UTILITIES UNLESS OTHERWISE SPECIFIED.
9. WRAP ALL DUCTILE IRON PIPE AND ADJACENT VALVES AND FITTINGS WITH 8-MIL. POLYETHYLENE CONFORMING TO AWWA C105.
10. THE WATERMAIN SHALL BE INSTALLED ONLY AFTER THE ROADWAY SUBGRADE IS BACKFILLED, GRADED AND COMPACTED IN CUT AND FILL AREAS.
11. TRENCH BACKFILL AND SURFACE RESTORATION OF EXISTING ASPHALT PAVEMENT SHALL BE AS REQUIRED BY THE RIGHT-OF-WAY USE PERMIT.
12. ALL FITTINGS SHALL BE BLOCKED PER STANDARD DETAILS UNLESS OTHERWISE SPECIFIED.
13. ALL SERVICES SHALL BE 1" X 1" PER STANDARD DETAILS UNLESS OTHERWISE SPECIFIED. ADAPTORS FOR 3/4" METERS SHALL BE USED WHERE APPLICABLE.
14. WHEN WORKING WITH ASBESTOS CEMENT PIPE, THE CONTRACTOR IS REQUIRED TO MAINTAIN WORKERS EXPOSURE TO ASBESTOS MATERIAL AT OR BELOW THE LIMIT PRESCRIBED IN WAC 296-62-07705.
15. CALL 1-800-424-5555, OR 811, 72 HOURS BEFORE CONSTRUCTION FOR UTILITY LOCATIONS.
16. UNIFORM PLUMBING CODE REQUIRES THE INSTALLATION OF PRIVATELY OWNED AND OPERATED PRESSURE REDUCING VALVES WHERE THE OPERATING PRESSURE EXCEEDS 80 PSI.
17. THE CONTRACTOR SHALL USE A VACUUM STREET SWEEPER TO REMOVE DUST AND DEBRIS FROM PAVEMENT AREAS AS DIRECTED BY THE ENGINEER. FLUSHING OF STREETS SHALL NOT BE PERMITTED WITHOUT PRIOR CITY APPROVAL.
18. BEFORE COMMENCEMENT OF TRENCHING, THE CONTRACTOR SHALL PROVIDE CATCH BASIN INSERTS FOR ALL CATCH BASINS THAT WILL RECEIVE RUNOFF FROM THE PROJECT SITE. THE CONTRACTOR SHALL PERIODICALLY INSPECT THE CONDITION OF ALL INSERTS AND REPLACE AS NECESSARY.
19. ABANDONMENT OF EXISTING WATER SERVICES SHALL BE ACCOMPLISHED AS FOLLOWS:

a. REMOVE EXISTING SERVICE SADDLE FROM WATER MAIN AND REPLACE WITH NEW STAINLESS STEEL REPAIR BAND, ROMAC SS2, FORD SERVICE SADDLE FC101, OR APPROVED EQUAL (WILL NOT BE REQUIRED WHEN WATER MAIN IS TO BE ABANDONED).

b. REMOVE AND DISPOSE OF EXISTING SETTER AND METER BOX.

c. CAP OR CRIMP (IF COPPER) EXISTING SERVICE LINE TO BE ABANDONED IN PLACE, EACH END.

d. RETURN EXISTING METER TO CITY OF BELLEVUE UTILITIES INSPECTOR.
20. WHERE NEW UTILITY LINE CROSSES BELOW AN EXISTING AC MAIN, THE AC PIPE SHALL BE REPLACED WITH DI PIPE TO 3 FEET PAST EACH SIDE OF THE TRENCH AS SHOWN ON STANDARD DETAIL W-8. WRAP DI PIPE AND COUPLINGS WITH 8-MIL POLYETHYLENE CONFORMING TO AWWA C105. ALTERNATIVELY, WHERE DIRECTED BY THE ENGINEER, THE TRENCH SHALL BE BACKFILLED WITH CONTROLLED DENSITY FILL (CDF, AKA FLOWABLE FILL) FROM BOTTOM OF TRENCH TO THE INVERT OF THE AC MAIN.
21. AVOID CROSSING WATER OR SEWER MAINS AT HIGHLY ACUTE ANGLES. THE SMALLEST ANGLE MEASURE BETWEEN UTILITIES SHOULD BE 45 TO 90 DEGREES.
22. WHERE WATERMAIN CROSSES ABOVE OR BELOW SANITARY SEWER, ONE FULL LENGTH OF WATER PIPE SHALL BE CENTERED FOR MAXIMUM JOINT SEPARATION.
23. AT POINTS WHERE EXISTING THRUST BLOCKING IS FOUND, MINIMUM CLEARANCE BETWEEN THE CONCRETE BLOCKING AND OTHER BURIED UTILITIES OR STRUCTURES SHALL BE 5 FEET.
24. WORKERS MUST FOLLOW CONFINED SPACE REGULATIONS AND PROCEDURES WHEN ENTERING OR DOING WORK IN COB OWNED CONFINED SPACES. COMPLETED PERMIT MUST BE GIVEN TO THE UTILITIES INSPECTOR PRIOR TO ENTRY.
25. MANHOLES, CATCH BASINS AND VAULTS ARE CONSIDERED TO BE PERMIT-REQUIRED CONFINED ENTRY INTO THESE SPACES SHALL BE IN ACCORDANCE WITH CHAPTER 296-809 WAC.
26. WHEN WORK IS TO OCCUR IN EASEMENTS, THE CONTRACTOR SHALL NOTIFY THE EASEMENT GRANTOR AND BELLEVUE UTILITIES IN WRITING A MINIMUM OF 48 HOURS IN ADVANCE OF BEGINNING WORK (NOT INCLUDING WEEKENDS OR HOLIDAYS). FAILURE TO NOTIFY GRANTOR AND BELLEVUE UTILITIES WILL RESULT IN A STOP WORK ORDER BEING POSTED UNTIL THE MATTER IS RESOLVED TO THE SATISFACTION OF BELLEVUE UTILITIES. A WRITTEN RELEASE FROM THE EASEMENT GRANTOR SHALL BE FURNISHED TO THE UTILITIES INSPECTOR PRIOR TO PERMIT SIGN-OFF.
27. THE CONTRACTOR SHALL RESTORE THE RIGHT-OF-WAY AND EXISTING PUBLIC TILITYEASEMENT(S) AFTER CONSTRUCTION TO A CONDITION EQUAL OR BETTER THAN CONDITION PRIOR TO ENTRY. THE CONTRACTOR SHALL FURNISH A SIGNED RELEASE FROM ALL AFFECTED PROPERTY OWNERSAFTER RESTORATION HAS BEEN COMPLETED.

SANITARY SEWER NOTES:

1. ALL WORK SHALL CONFORM TO THE 2021 CITY OF BELLEVUE UTILITY ENGINEERING STANDARDS AND THE DEVELOPER EXTENSION AGREEMENT.
2. ALL NEW MANHOLES SHALL HAVE A MINIMUM INSIDE DIAMETER OF 48" AND SHALL CONFORM TO THE STANDARD DETAILS.
3. SANITARY SEWER PIPE SHALL BE PVC CONFORMING TO ASTM D-3034 SDR 35 (4"-15") OR ASTM F-679 (18"-27"). BEDDING AND BACKFILL SHALL BE AS SHOWN IN THE STANDARD DETAILS.
4. WHERE SHOWN AS C900 PVC, THE SEWER PIPE SHALL HAVE DIMENSION RATIO (DR 18) AND CONFORM TO AWWA C900 OR AWWA C905.
5. ALL SIDE SEWERS SHALL BE 6" DIAMETER PIPE AT A MINIMUM 2% SLOPE, UNLESS OTHERWISE NOTED ON THE STANDARD DETAILS.
6. SIDE SEWER STATIONS ARE REFERENCED FROM NEAREST DOWNSTREAM MANHOLE.
7. LOT CORNERS MUST BE SET AND SIDE SEWER LOCATIONS VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION.
8. ALL SIDE SEWER STUBS SHALL BE CAPPED WITH A WATERTIGHT CAP AND GASKET. CAP LOCATION SHALL BE MARKED WITH A 2 X 4 STAKE, 12 FEET LONG, WITH ONE END BURIED AT DEPTH OF THE CAP INVERT AND EXTENDING AT LEAST 3 FEET VERTICALLY OUT OF THE GROUND. THE PORTION OF STAKE ABOVE GROUND SHALL BE PAINTED WHITE AND MARKED WITH THE WORD "SEWER" AND THE DEPTH FROM PIPE INVERT TO GROUND SURFACE. CONNECT PIPE TO STAKE WITH AN 8-GAUGE WIRE AT OR ABOVE FINISHED GROUND LEVEL.
9. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN HEREON HAVE BEEN ESTABLISHED BY FIELD SURVEY OR OBTAINED FROM AVAILABLE RECORDS AND SHOULD THEREFORE BE CONSIDERED APPROXIMATE ONLY AND NOT NECESSARILY COMPLETE. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO INDEPENDENTLY VERIFY THE ACCURACY OF ALL UTILITY LOCATIONS SHOWN, AND TO FURTHER DISCOVER AND AVOID ANY OTHER UTILITIES NOT SHOWN HEREON WHICH MAY BE AFFECTED BY THE IMPLEMENTATION OF THIS PLAN. IMMEDIATELY NOTIFY THE ENGINEER IF A CONFLICT EXISTS.
10. ALL TESTING AND CONNECTIONS TO EXISTING MAINS SHALL BE DONE IN THE PRESENCE OF A REPRESENTATIVE OF THE CITY OF BELLEVUE UTILITIES DEPARTMENT.
11. ALL TRENCHES SHALL BE COMPACTED, AND ATB IN PLACE IN PAVED AREAS, PRIOR TO TESTING SEWER LINES FOR ACCEPTANCE.
12. SIDE SEWER SHALL BE TESTED FOR ACCEPTANCE AT THE SAME TIME THE MAIN SEWER IS TESTED.
13. TOPS OF MANHOLES WITHIN PUBLIC RIGHTS-OF-WAY SHALL NOT BE ADJUSTED TO FINAL GRADE UNTIL JUST PRIOR TO PAVING.
14. ALL MANHOLES IN UNPAVED AREAS SHALL INCLUDE A CONCRETE SEAL AROUND ADJUSTING RINGS PER STANDARD DETAIL.
15. CONTRACTOR SHALL ADJUST ALL MANHOLE RIMS TO FLUSH WITH FINAL FINISHED GRADES, UNLESS OTHERWISE SHOWN.
16. ALL SEWER MAIN EXTENSIONS WITHIN THE PUBLIC RIGHT-OF-WAY OR IN EASEMENTS MUST BE "STAKED" BY A SURVEYOR LICENSED IN WASHINGTON STATE FOR "LINE AND GRADE" AND CUT SHEETS PROVIDED TO THE ENGINEER, PRIOR TO STARTING CONSTRUCTION.
17. CONTRACTOR SHALL INSTALL, AT ALL CONNECTIONS TO EXISTING DOWNSTREAM MANHOLES, SCREENS OR PLUGS TO PREVENT FOREIGN MATERIALS FROM ENTERING EXISTING SANITARY SEWER SYSTEM. SCREENS OR PLUGS SHALL REMAIN IN PLACE THROUGHOUT THE DURATION OF CONSTRUCTION AND SHALL BE REMOVED ALONG WITH COLLECTED DEBRIS AT THE TIME OF FINAL INSPECTION AND IN THE PRESENCE OF A REPRESENTATIVE OF THE CITY OF BELLEVUE UTILITIES DEPARTMENT.
18. SURFACE RESTORATION OF EXISTING ASPHALT PAVEMENT SHALL BE AS REQUIRED BY THE RIGHT-OF-WAY USE PERMIT.
19. THE CONTRACTOR SHALL MAINTAIN A MINIMUM OF TEN FEET (10') HORIZONTAL SEPARATION BETWEEN ALL WATER AND SEWER LINES. ANY CONFLICTS SHALL BE REPORTED TO THE UTILITY AND THE ENGINEER PRIOR TO CONSTRUCTION.
20. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT NO CONFLICTS EXIST BETWEEN SANITARY SEWER LINES AND PROPOSED OR EXISTING UTILITIES PRIOR TO CONSTRUCTION.
21. MINIMUM COVER OVER SEWER PIPE SHALL BE FIVE FEET, UNLESS OTHERWISE SHOWN.
22. THE CONTRACTOR SHALL USE A VACUUM STREET SWEEPER TO REMOVE DUST AND DEBRIS FROM PAVEMENT AREAS AS DIRECTED BY THE ENGINEER. FLUSHING OF STREETS SHALL NOT BE PERMITTED WITHOUT PRIOR CITY APPROVAL.
23. BEFORE COMMENCEMENT OF TRENCHING, THE CONTRACTOR SHALL PROVIDE FILTER FABRIC FOR ALL DOWNHILL STORM DRAIN INLETS AND CATCH BASINS THAT WILL RECEIVE RUNOFF FROM THE PROJECT SITE. THE CONTRACTOR SHALL PERIODICALLY INSPECT THE CONDITION OF ALL FILTER FABRIC AND REPLACE AS NECESSARY. FOR ALL CONSTRUCTION DURING THE RAINY SEASON, DOWNHILL BASINS AND INLETS MUST BE PROTECTED WITH CATCH BASIN INSERTS. SIMPLY PLACING FILTER FABRIC UNDER THE GRATE IS NOT ACCEPTABLE.
24. SIDE SEWER DEMOLITION SHALL BE PERFORMED PRIOR TO REMOVAL OF BUILDING FOUNDATION. THE SIDE SEWER FOR EACH BUILDING SHALL BE EXCAVATED AND REMOVED FROM THE HOUSE CONNECTION TO THE EDGE OF THE PUBLIC RIGHT-OF-WAY, OR PROPERTY LINE. THE CONTRACTOR SHALL CAP THE END OF THE SIDE SEWER TO REMAIN IN place. SIDE SEWER DEMOLITION SHALL BE PERFORMED IN THE PRESENCE OF THE CITY OF BELLEVUE SEWER MAINTENANCE ENGINEERING TECHNICIAN.
25. AVOID CROSSING WATER OR SEWER MAINS AT HIGHLY ACUTE ANGLES. THE SMALLEST ANGLE MEASURE BETWEEN UTILITIES SHOULD BE 45 TO 90 DEGREES.
26. AT POINTS WHERE EXISTING THRUST BLOCKING IS FOUND, MINIMUM CLEARANCE BETWEEN THE CONCRETE BLOCKING AND OTHER BURIED UTILITIES OR STRUCTURES SHALL BE 5 FEET.
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28. CALL 1-800-424-5555, OR 811, 72 HOURS BEFORE CONSTRUCTION FOR UTILITY LOCATES.
29. MANHOLES, CATCH BASINS AND VAULTS ARE CONSIDERED TO BE PERMIT-REQUIRED CONFINED SPACES. ENTRY INTO THESE SPACES SHALL BE IN ACCORDANCE WITH CHAPTER 296-809 WAC.
30. THE CONTRACTOR SHALL PROVIDE A VIDEOTAPE (DVD OR VHS FORMAT, STANDARD OF THE SEWER PIPE INTERIOR FOR THE CITY'S REVIEW. THE VIDEO SHALL PROVIDE A MINIMUM OF 14 LINES PER MILLIMETER RESOLUTION AND COVER THE ENTIRE LENGTH OF THE APPLICABLE PIPE. THE CAMERA SHALL BE MOVED THROUGH THE PIPE AT A UNIFORM RATE (< 30 FT/MIN), STOPPING WHEN NECESSARY TO ENSURE PROPER DOCUMENTATION OF THE PIPE CONDITION. THE VIDEO SHALL BE TAKEN AFTER INSTALLATION AND CLEANING TO INSURE THAT NO DEFECTS EXIST. THE PROJECT WILL NOT BE ACCEPTED UNTIL ALL DEFECTS HAVE BEEN REPAIRED.
31. WHEN WORK IS TO OCCUR IN EASEMENTS, THE CONTRACTOR SHALL NOTIFY THE EASEMENT GRANTOR AND BELLEVUE UTILITIES IN WRITING A MINIMUM OF 48 HOURS IN ADVANCE OF BEGINNING WORK (NOT INCLUDING WEEKENDS OR HOLIDAYS). FAILURE TO NOTIFY GRANTOR AND BELLEVUE UTILITIES WILL RESULT IN A STOP WORK ORDER BEING POSTED UNTIL THE MATTER IS RESOLVED TO THE SATISFACTION OF BELLEVUE UTILITIES. A WRITTEN RELEASE FROM THE EASEMENT GRANTOR SHALL BE FURNISHED TO THE UTILITIES INSPECTOR PRIOR TO PERMIT SIGN-OFF.
32. THE CONTRACTOR SHALL RESTORE THE RIGHT-OF-WAY AND EXISTING PUBLIC SEWER EASEMENT(S) AFTER CONSTRUCTION TO A CONDITION EQUAL OR BETTER THAN CONDITION PRIOR TO ENTRY. THE CONTRACTOR SHALL FURNISH A SIGNED RELEASE FROM ALL AFFECTED PROPERTY OWNERS AFTER RESTORATION HAS BEEN COMPLETED.

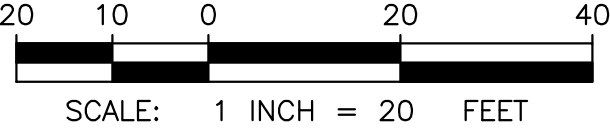
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Know what's below.

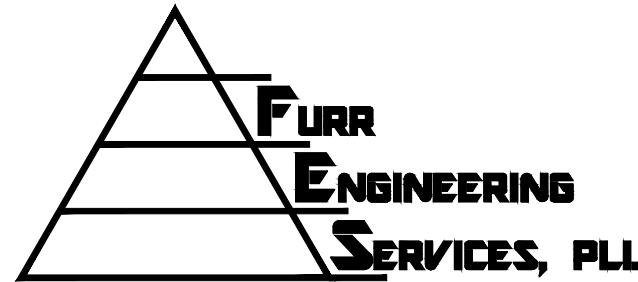
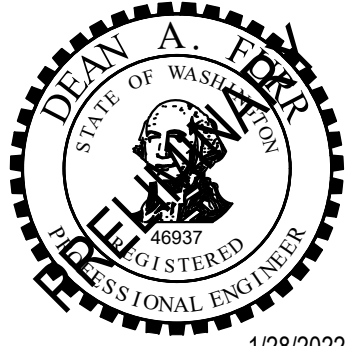
Call before you dig.



KD 2-LOT SHORT PLAT  
9821 NE 20TH ST  
BELLEVUE, WA 98004

Key Plan

Registration



4715 142nd Pl. SW #B,  
Edmonds, WA 98026  
ph 206.890.8291

Sheet Title

UTILITY PLAN

Revisions

REV	REV DATE	REV DESCRIPTION
1	01/28/2022	PER CITY COMMENTS

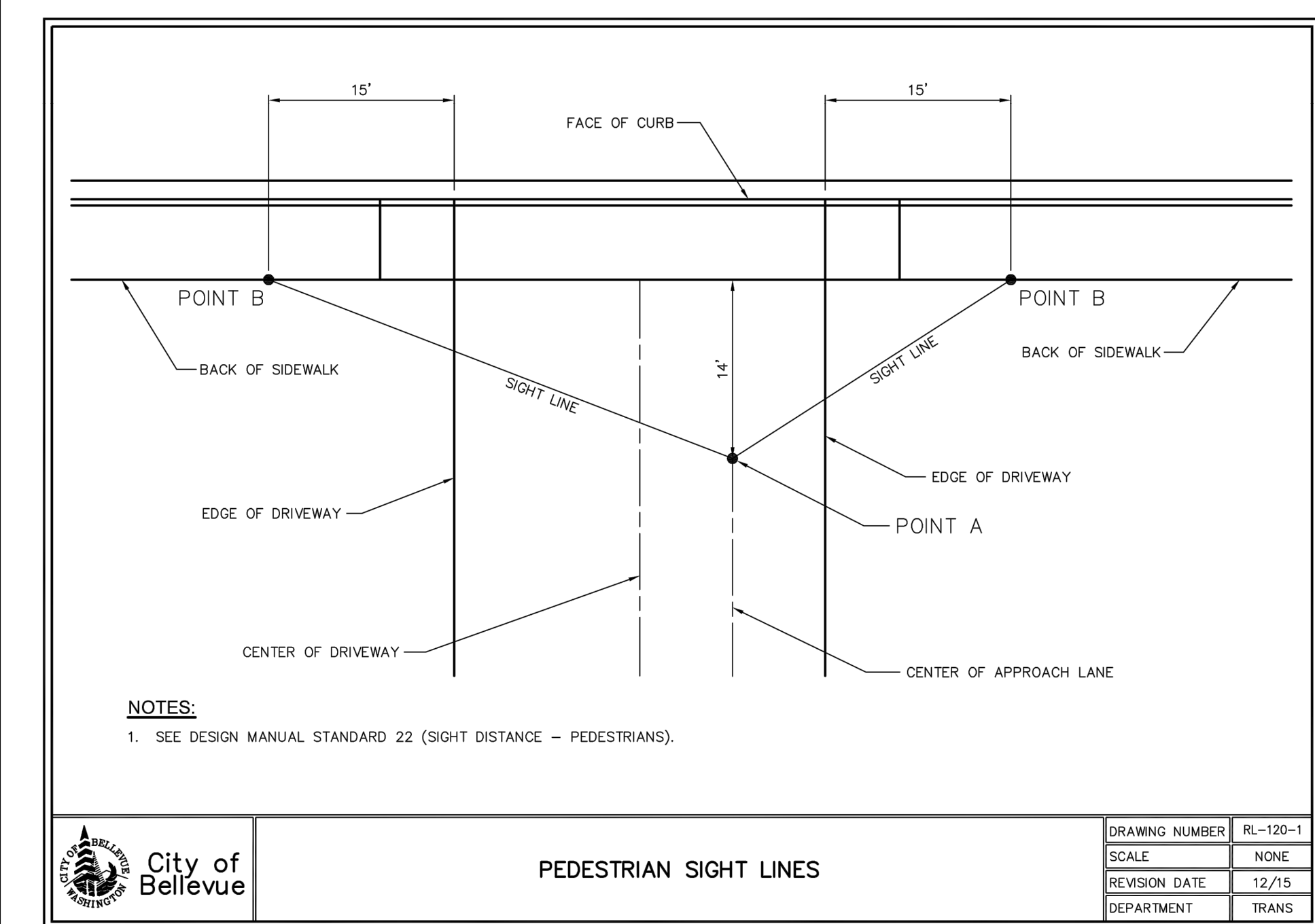
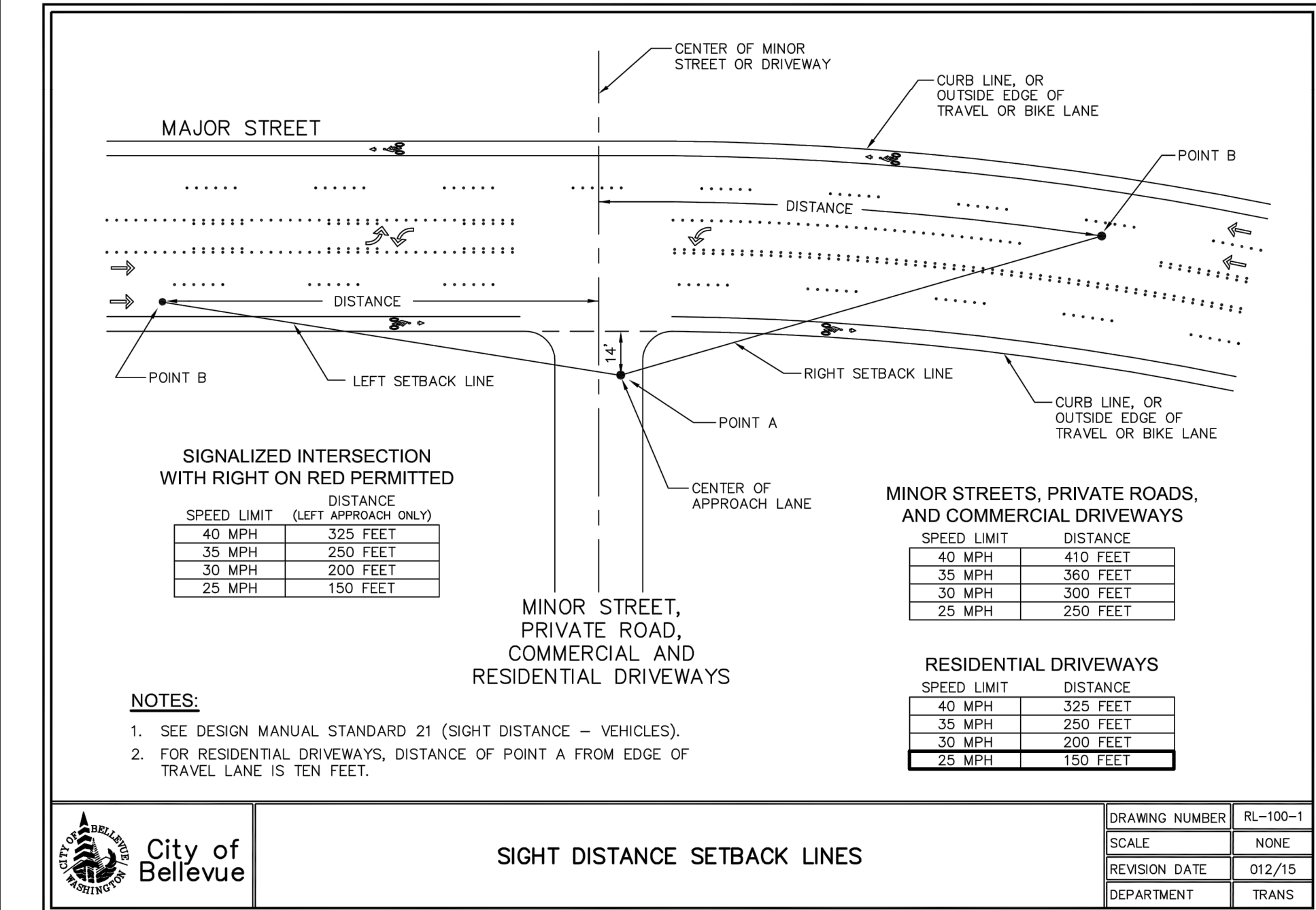
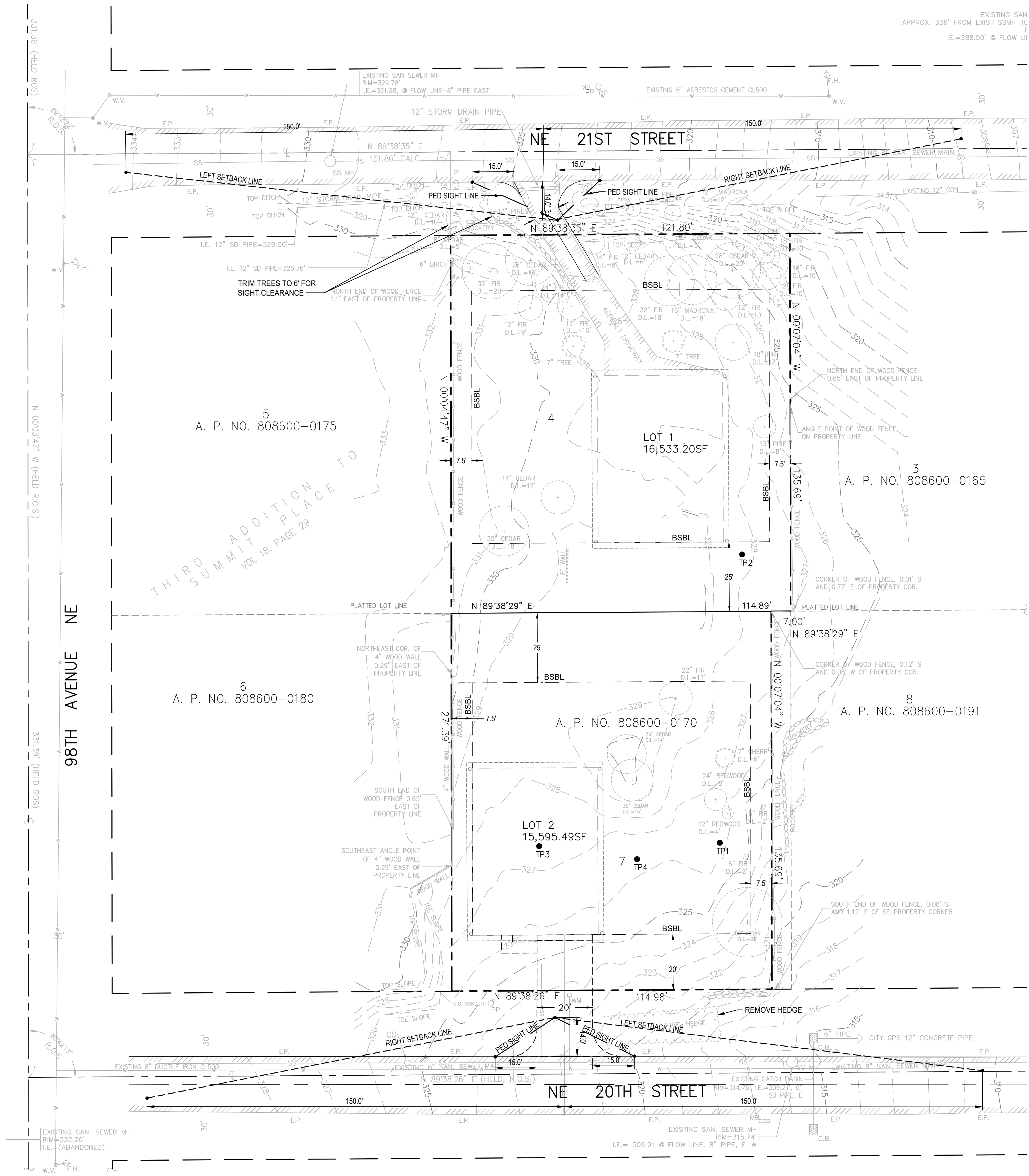
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FES Project No:	21072
Date:	JUNE 3, 2021
Designed:	DAF
Drawn:	TJW
Checked:	DAF

Sheet Number

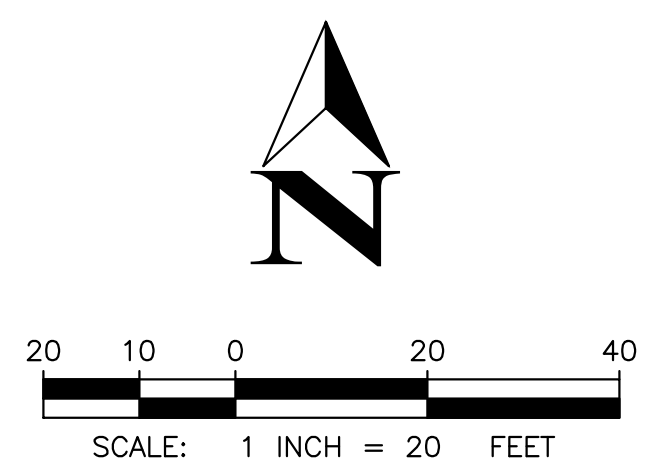
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NE 1/4 NE 1/4 SEC. 30, T. 25N., R. 05 E, W.M.  
KD 2-LOT SHORT PLAT



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KD 2--LOT SHORT PLAT  
9821 NE 20TH ST  
BELLEVUE, WA 98004

Key Plan

Registration



**FURR ENGINEERING SERVICES, PLLC**  
4715 142nd Pl. SW #B,  
Edmonds, WA 98026  
ph 206.890.8291

Sheet Title

PEDESTRIAN AND  
VEHICLE SIGHT  
DISTANCE PLAN

Revisions

REV	REV DATE	REV DESCRIPTION
1	01/28/2022	PER CITY COMMENTS

Scale:  
FES Project No: 21072  
Date: JUNE 3, 2021  
Designed: DAF  
Drawn: TJW  
Checked: DAF

Sheet Number

C5.0



NE 1/4, NE 1/4, SECTION 30, TOWNSHIP 25 NORTH, RANGE 05 EAST, W.M.

NE 24TH STREET

NE 22ND STREET

NE 21ST STREET

NE 20TH STREET

98TH AVENUE NE

THIRD ADDITION  
VOL 18, PAGE 29

HOUSE  
9821 NE 20TH ST

BOUNDARY & TOPOGRAPHIC  
SURVEY

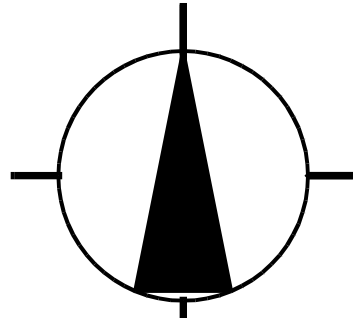
9821 NE 20TH STREET  
BELLEVUE, WASHINGTON 98004  
TAX LOT NO. 808600-0170

K. D. DEVELOPMENT  
AND CONSTRUCTION

TRAVERSE LAND SURVEYING AND MAPPING  
Boundaries, A.L.T.A. Surveys, Topographic, Lot Line  
Adjustments, Short Plats, Unit Sub-Division

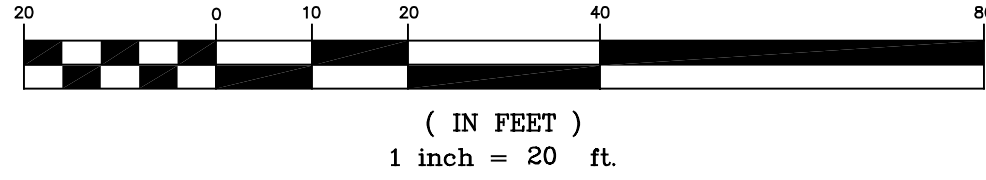
14745 SE 187TH CT • RENTON, WASHINGTON 98058 • TEL: 206-949-0001

SCALE 1"=20'  
DRAWN DBA  
DATE 02/21  
JOB 2021-167  
SHEET 1 OF 1  
OF SHEETS



NORTH  
SCALE: 1" = 10'

GRAPHIC SCALE



BASIS OF BEARINGS

MONS ON CENTERLINE OF 98TH AVE NE BETWEEN  
NE 22ND ST AND NE 24TH ST  
BEARING: N 00° 03' 47" W; DISTANCE: 662.76 FT MEAS.  
REFERENCE: RECORD OF SURVEY BY TERRANE  
VOLUME 410 OF SURVEYS, PAGE 240.  
RECORDING NO. 20190909900017

BENCH MARK

MON ON INTERSECTION 98TH AVE NE & NE 22ND ST  
BENCH MARK NO. 1156 CITY OF BELLEVUE  
ELEVATION=331.668 FEET NAVD 88 DATUM

LEGEND:

- Asphalt Pavement
- 22" x 26" Catch Basin
- Fire Hydrant
- Water Meter
- Storm Drain Manhole
- San. Sewer Manhole
- SS MH
- Water Main Manhole
- W MH
- Water Valve
- Power Pole
- Telephone Riser
- Yard Drain Inlet
- Traffic Stop Sign
- STOP SIGN
- Elec. Power Vault
- W VAULT
- Exist. Mon. in Case
- Found Rebar
- Evergreen Tree
- Building
- Conc. Pavement
- Water Line
- Gas Line
- Sanitary Sewer Line
- Storm Drain
- Underground Power
- Underground Telephone
- Underground Television
- +430.1 Indicates Elevation
- Rockery
- Set 1/2" Rebar w/ YPC #52084
- Catch Basin w/ Solid Cover
- C.B. W/SLD CVR
- Set PK Nail w/ Brass Shiner
- Deciduous Tree
- 1/4 Section Cor, Mon Case Found
- San. Sewer Clean out Stub
- CLEANOUT

LEGAL DESCRIPTION

LOTS 4 AND 7, BLOCK 16, OF THIRD ADDITION TO SUMMIT PLACE, ACCORDING TO THE PLAT  
THEREOF RECORDED IN VOLUME 18 OF PLATS, PAGE 29, RECORDS OF KING COUNTY,  
WASHINGTON.

EXCEPT THE EAST 7 FEET OF SAID LOT 7.

SUBJECT TO COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS, IF ANY AFFECTING TITLE  
WHICH MAY APPEAR IN THE PUBLIC RECORD, INCLUDING THOSE SHOWN ON ANY RECORDED  
PLAT OR SURVEY.

